HOLLYWOOD CENTER

LOS ANGELES, CA

APRIL 2018

DRAWING LIST

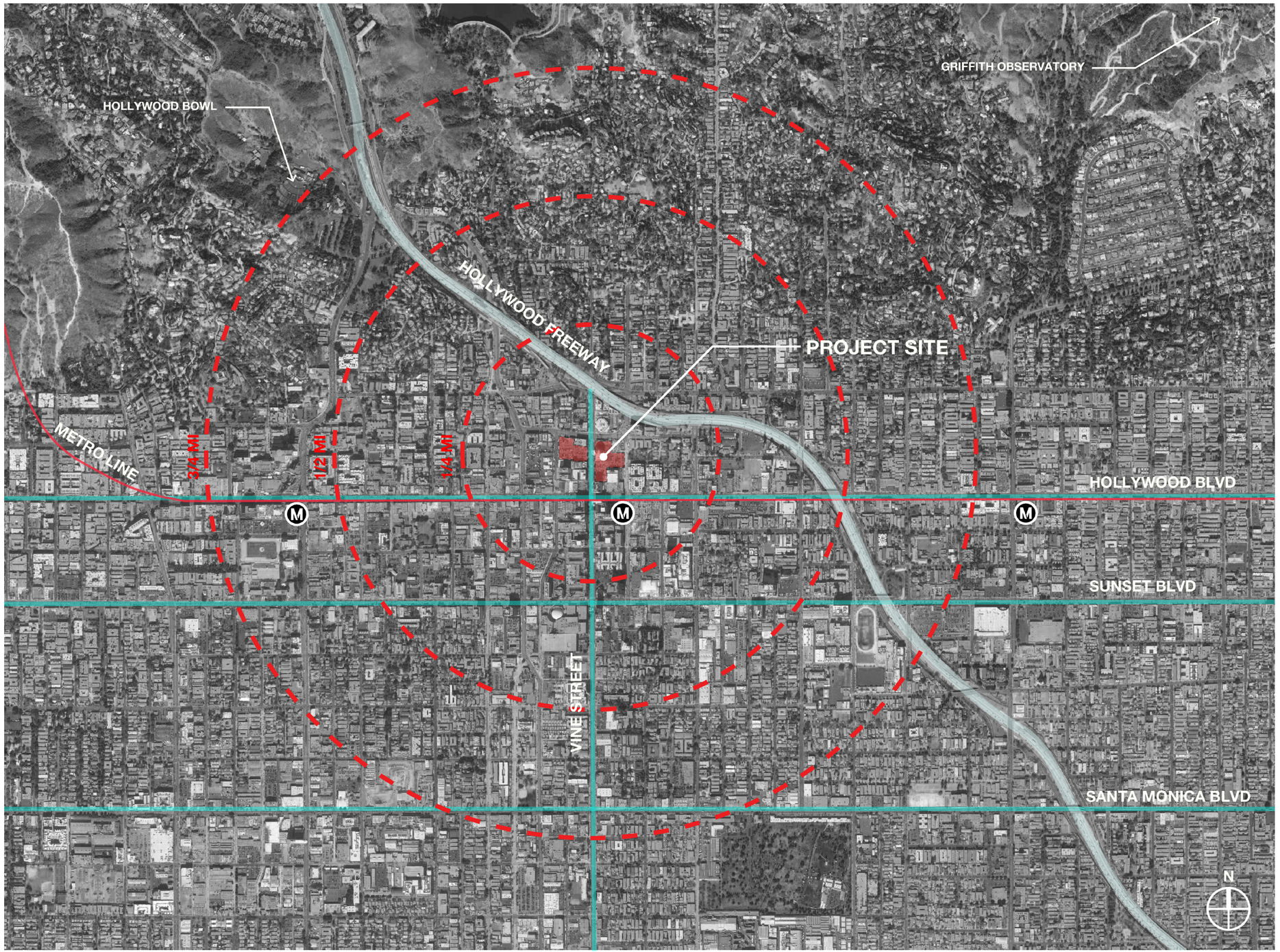
	DWG. NO.	DRAWING TITLE	SCALE	APRIL 2018
	ARCHITECTURAL			
	T-001.00	COVER SHEET	N/A	X
	G-000 - PROJECT INFORMATION			
	G-001	NOT USED		
	G-002	VICINITY PLAN	N/A	X
	G-003	SURVEY DESCRIPTION	N/A	X
	G-004	SURVEY OVERALL SITE	N/A	X
	G-005	SURVEY WEST SITE	N/A	X
	G-006	SURVEY EAST SITE	N/A	X
	G-007	PROJECT SUMMARY	N/A	X
	G-008	WEST SITE - DATA	N/A	X
	G-009	WEST SITE - OPEN SPACE	N/A	X
	G-010	EAST SITE - DATA	N/A	X
	G-011	EAST SITE - OPEN SPACE	N/A	X
	G-012	WEST SITE - PLOT PLAN	1"=20'	X
	G-013	EAST SITE - PLOT PLAN	1"=20'	X
	A-100 - FLOOR PLANS			
	A-101	WEST SITE - LEVEL B5	1/16" = 1'-0"	X
	A-102	WEST SITE - LEVEL B4	1/16" = 1'-0"	X
	A-103	WEST SITE - LEVEL B3	1/16" = 1'-0"	X
	A-104	WEST SITE - LEVEL B2	1/16" = 1'-0"	X
	A-105	WEST SITE - LEVEL B1	1/16" = 1'-0"	X
	A-106	WEST SITE - LEVEL 01 (VINE)	1/16" = 1'-0"	X
	A-107	WEST SITE - LEVEL 01_M (IVAR)	1/16" = 1'-0"	X
	A-108	WEST SITE - LEVEL 2	1/16" = 1'-0"	X
	A-109	WEST SITE - LEVELS 03-25	1/16" = 1'-0"	X
	A-110	WEST SITE - LEVEL 26	1/16" = 1'-0"	X
	A-111	WEST SITE - LEVELS 27-34	1/16" = 1'-0"	X
	A-112	WEST SITE - LEVEL 35 PH	1/16" = 1'-0"	X
	A-113	WEST SITE - MECH PENTHOUSE	1/16" = 1'-0"	X
	A-114	WEST SITE - ROOF PLAN	1/16" = 1'-0"	X
	A-121	EAST SITE - LEVEL B5	1/16" = 1'-0"	X
	A-122	EAST SITE - LEVEL B4	1/16" = 1'-0"	X
	A-123	EAST SITE - LEVEL B3	1/16" = 1'-0"	X
	A-124	EAST SITE - LEVEL B2	1/16" = 1'-0"	X
	A-125	EAST SITE - LEVEL B1	1/16" = 1'-0"	X
	A-126	EAST SITE - LEVEL 01 (VINE)	1/16" = 1'-0"	X
	A-127	EAST SITE - LEVEL 01_M (ARGYLE)	1/16" = 1'-0"	X
	A-128	EAST SITE - LEVEL 02	1/16" = 1'-0"	X
	A-129	EAST SITE - LEVELS 03-06	1/16" = 1'-0"	X
	A-130	EAST SITE - LEVELS 07-29	1/16" = 1'-0"	X
	A-131	EAST SITE - LEVEL 30	1/16" = 1'-0"	X
	A-132	EAST SITE - LEVELS 31-45	1/16" = 1'-0"	X
	A-133	EAST SITE - LEVEL 46 PH	1/16" = 1'-0"	X
	A-134	EAST SITE - MECH PENTHOUSE	1/16" = 1'-0"	X
	A-135	EAST SITE - ROOF PLAN	1/16" = 1'-0"	X
	A-141	WEST SITE - ENLARGED RETAIL PLANS	3/32" = 1'-0"	X
	A-142	EAST SITE - ENLARGED RETAIL PLANS	3/32" = 1'-0"	X
	A-151	WEST SITE - ENLARGED AMENITY DECK PLAN	3/32" = 1'-0"	X
	A-152	EAST SITE - ENLARGED AMENITY DECK PLAN	3/32" = 1'-0"	X
	A-161	ENLARGED TYPICAL UNIT PLANS	1/8" = 1'-0"	X
	A-162	ENLARGED TYPICAL UNIT PLANS	1/8" = 1'-0"	X
	A-200 - ELEVATIONS			
	A-201	WEST SITE - NORTH ELEVATION	1/32" = 1'-0"	X
	A-202	WEST SITE - EAST ELEVATION	1/32" = 1'-0"	X
	A-203	WEST SITE - SOUTH ELEVATION	1/32" = 1'-0"	X
	A-204	WEST SITE - WEST ELEVATION	1/32" = 1'-0"	X
	A-205	EAST SITE - NORTH ELEVATION	1/32" = 1'-0"	X
	A-206	EAST SITE - EAST ELEVATION	1/32" = 1'-0"	X
	A-207	EAST SITE - SOUTH ELEVATION	1/32" = 1'-0"	X
	A-208	EAST SITE - WEST ELEVATION	1/32" = 1'-0"	X
	A-300 - SECTIONS			
	A-301	WEST SITE - BUILDING SECTION E-W	1/32" = 1'-0"	X
	A-302	WEST SITE - BUILDING SECTION N-S	1/32" = 1'-0"	X
	A-303	EAST SITE - BUILDING SECTION E-W	1/32" = 1'-0"	X
	A-304	EAST SITE - BUILDING SECTION N-S	1/32" = 1'-0"	X
	A-400 - RENDERLING			
	A-401	RENDERING	N/A	X
	A-402	NOT USED		
	A-500 - HOTEL SCENARIO			
	A-501	EAST SITE - HOTEL AND RES. SUMMARY	N/A	X
	A-502	EAST SITE - LEVEL 01 (VINE)	1/16" = 1'-0"	X
	A-503	EAST SITE - LEVEL 01 (ARGYLE)	1/16" = 1'-0"	X
	A-504	EAST SITE - LEVEL 02	1/16" = 1'-0"	X
	A-505	EAST SITE - LEVEL 03-12 (GUESTROOMS)	1/16" = 1'-0"	X
	A-506	EAST SITE - LEVEL 13-45	1/16" = 1'-0"	X
	A-507	EAST SITE - BUILDING SECTION E-W	1/32" = 1'-0"	X
	A-508	EAST SITE - BUILDING SECTION N-S	1/32" = 1'-0"	X
	A-509	EAST SITE - ENLARGED GF RETAIL PLANS	3/32" = 1'-0"	X
	A-510	EAST SITE - ENLARGED AMENITY DECK PLAN	3/32" = 1'-0"	X
	L-100 - LANDSCAPE			
	L-001	OVERALL LANDSCAPE SITE PLAN	AS INDICATED	X
	L-101	OVERALL GROUND FLOOR SITE PLAN	AS INDICATED	X
	L-102	WEST SITE GROUND FLOOR PLAN	AS INDICATED	X
	L-103	EAST SITE GROUND FLOOR PLAN	AS INDICATED	X
	L-111	OVERALL GROUND FLOOR LAYOUT PLAN	AS INDICATED	X
	L-112	OVERALL GROUND FLOOR MATERIAL PLAN	AS INDICATED	X
	L-113	OVERALL GROUND FLOOR PLANTING PLAN	AS INDICATED	X
	L-113-1	GROUND FLOOR PLANTING REFERENCE IMAGES	AS INDICATED	X
	L-114	OVERALL GROUND FLOOR FURNISHING PLAN	AS INDICATED	X
	L-115	GROUND FLOOR SITE SECTIONS	AS INDICATED	X
	L-116	GROUND FLOOR RENDERED AXONOMETRICS	AS INDICATED	X
	L-121	OVERALL AMENITY TERRACES SITE PLAN	AS INDICATED	X
	L-122	WEST SITE AMENITY TERRACES PLAN	AS INDICATED	X
	L-123	EAST SITE AMENITY TERRACES PLAN	AS INDICATED	X
	L-131	OVERALL AMENITY TERRACES LAYOUT PLAN	AS INDICATED	X
	L-132	OVERALL AMENITY TERRACES MATERIAL PLAN	AS INDICATED	X
	L-133	OVERALL AMENITY TERRACES PLANTING PLAN	AS INDICATED	X
	L-133-1	AMENITY TERRACES PLANTING REFERENCE IMAGES	AS INDICATED	X
	L-135	AMENITY TERRACES SITE SECTIONS	AS INDICATED	X
	L-136	AMENITY TERRACES RENDERED AXONOMETRICS	AS INDICATED	X

ENTITLEMENT SUBMISSION APRIL 2018

APPLICANT	ARCHITECT	LANDSCAPE ARCHITECT	SURVEY
MCAF VINE LLC 1995 BROADWAY, 3RD FLOOR NEW YORK, NY 10023 212.875.4900	HANDEL ARCHITECTS LLP 120 BROADWAY, 6TH FLOOR NEW YORK, NY 10271 212.595.4112	JAMES CORNER FIELD OPERATIONS 475 TENTH AVENUE, 9TH FL NEW YORK, NY 10018 212.433.1450	KPFF 700 S. FLOWER STREET, SUITE 2100 LOS ANGELES, CA 90017 213.418.0201

VICINITY PLAN

SCALE: NTS



HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

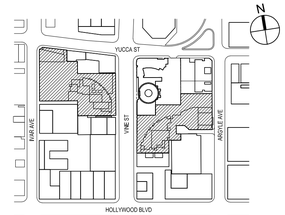
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

VICINITY PLAN

DRAWING NO:

G-002

© Handel Architects LLP 2018

SURVEY DESCRIPTION

SCALE: NTS

DESIGN SURVEY

LEGAL DESCRIPTION

(PER CHICAGO TITLE COMPANY PRELIMINARY REPORT ORDER No. 00000084196-994-LT2-DB DATED JANUARY 29, 2018)

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ANGELES, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL A: (PORTION OF 5546–030–028)

THAT PORTION OF LOT 1 OF TRACT NO. 18237, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 529, PAGES 10 AND 11 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, LYING WESTERLY OF A LINE WHICH IS PARALLEL WITH AND DISTANT 260.00 FEET EASTERLY, MEASURED AT RIGHT ANGLES, FROM THE CENTER LINE OF VINE STREET, 100 FEET WIDE, AS SHOWN ON THE MAP OF SAID TRACT.

EXCEPT THAT PORTION OF SAID LAND LYING SOUTHERLY OF A LINE WHICH IS PARALLEL WITH THE MOST SOUTHERLY LINE OF SAID LOT 1 AND DISTANT 119.96 FEET NORTHERLY THEREFROM, MEASURED AT RIGHT ANGLES.

PARCEL B: (REMAINDER OF 5546–030–028)

THE SOUTH 58 FEET OF LOT 12 OF CENTRAL HOLLYWOOD TRACT NO. 2, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 6, PAGE 144 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL C: (5546–030–031)

THE EAST 50 FEET OF THE NORTH 2 FEET OF LOT 12 OF CENTRAL HOLLYWOOD TRACT NO. 2, AND THE EAST 50 FEET OF LOT 13 OF SAID CENTRAL HOLLYWOOD TRACT NO. 2, WITH THE EXCEPTION OF THAT PORTION DEEDED TO THE CITY FOR STREET PURPOSES OF LOS ANGELES, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 6, PAGE 144 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL D: (5546–030–032)

THE WEST 100 FEET OF LOTS 12 AND 13 OF CENTRAL HOLLYWOOD TRACT NO. 2, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 6, PAGE 144 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THE SOUTH 58 FEET OF SAID LOT 12.

ALSO EXCEPTING THEREFROM THAT PORTION OF SAID LAND INCLUDED WITHIN THE LINES OF YUCCA STREET AS DESCRIBED IN LOS ANGELES COUNTY SUPERIOR COURT CASE NO. 202550, NOTICE OF PENDENCY OF SAID ACTION WAS RECORDED ON AUGUST 06, 1926 AS INSTRUMENT NO. 1775, IN BOOK 6018, PAGE 270 OF OFFICIAL RECORDS, IN SAID OFFICE OF THE COUNTY RECORDER.

SAID PROPERTY IS ALSO KNOWN AS AND IS DESCRIBED AS A WHOLE AS FOLLOWS:

BEGINNING AT THE MOST WESTERLY CORNER OF LOT 1, TRACT NO. 18237, AS PER MAP RECORDED IN BOOK 529, PAGES 10 AND 11 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY, CALIFORNIA, SAID POINT BEING ON THE EASTERLY RIGHT OF WAY OF VINE STREET 100 FEET WIDE; THENCE NORTH 00°15'52" WEST 119.96 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING NORTH 00°15'52" WEST 297.05 FEET; THENCE NORTH 89°52'48" EAST 150.02 FEET; THENCE SOUTH 00°15'52" EAST 24.00 FEET TO THE SOUTHERLY RIGHT OF WAY OF YUCCA STREET 94 FEET WIDE; THENCE NORTH 89°52'48" EAST 59.95 FEET; THENCE SOUTH 00°15'52" EAST 272.10 FEET; THENCE SOUTH 89°37'21" WEST 27.30 FEET TO A POINT WHICH IS 232.67 FEET PARALLEL WITH AND EASTERLY OF THE CENTERLINE OF VINE STREET 100 FEET WIDE; THENCE SOUTH 89°37'21" WEST 182.67 FEET TO THE POINT OF BEGINNING.

PARCEL E:

A NON–EXCLUSIVE EASEMENT FOR PARKING SPACES AS SET FORTH IN THAT CERTAIN UNRECORDED PARKING EASEMENT AGREEMENT DATED AS OF MARCH 27, 2001, SUBJECT TO THE TERMS THEREIN PROVIDED, AS DISCLOSED BY THAT CERTAIN INSTRUMENT ENTITLED "MEMORANDUM OF PARKING EASEMENT AGREEMENT" RECORDED MARCH 30, 2001 AS INSTRUMENT NO. 01–0528743 OF OFFICIAL RECORDS, AND SUBJECT TO THE TERMS AND PROVISION OF THAT CERTAIN "SUBORDINATION, NON– DISTURBANCE AND ATTORNMENT AGREEMENT", RECORDED MARCH 30, 2001 AS INSTRUMENT NO. 01– 0528748 OF OFFICIAL RECORDS, SAID PARKING SPACES ARE LOCATED ON THE PROPERTY DESCRIBED IN EXHIBIT "B" ATTACHED TO SAID MEMORANDUM OF PARKING EASEMENT AGREEMENT.

PARCEL F: (5546–004–020; 5546–004–021)

LOTS 20, 21 AND THOSE PORTIONS OF LOTS 19 AND 22 IN BLOCK 21 OF HOLLYWOOD, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 28, PAGES 59 AND 60 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE EAST LINE OF SAID LOT 19, DISTANT NORTHERLY THEREON, 400.23 FEET FROM THE NORTH LINE OF HOLLYWOOD BOULEVARD, 100.00 FEET WIDE, AS ESTABLISHED BY THE CITY ENGINEER OF SAID CITY, MEASURED ALONG THE EASTERLY LINES OF LOTS 13 TO 19 INCLUSIVE IN SAID BLOCK 21; THENCE WESTERLY IN A DIRECT LINE, A DISTANCE OF 181.50 FEET TO A POINT IN THE WEST LINE OF SAID LOT 19, DISTANT NORTHERLY, THEREON 400.39 FEET, MEASURED ALONG THE WESTERLY LINE OF SAID LOT 13 TO 19 INCLUSIVE OF SAID BLOCK FROM THE NORTHERLY LINE OF SAID HOLLYWOOD BOULEVARD; THENCE NORTHERLY ALONG THE WESTERLY LINES OF SAID LOTS 19, 20, 21 AND 22; THENCE THE NORTHERLY LINE OF THE SOUTHERLY 17.00 FEET OF SAID LOT 22; THENCE EASTERLY ALONG SAID NORTHERLY LINE TO THE EASTERLY LINE OF SAID LOT 22; THENCE SOUTHERLY ALONG THE EASTERLY LINES OF SAID LOTS 22, 21, 20 AND 19 TO THE POINT OF BEGINNING.

PARCEL G: (5546–004–006)

LOTS 3, 4 AND THOSE PORTIONS OF LOTS 2 AND 5 IN BLOCK 21 OF HOLLYWOOD, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 28, PAGES 59 AND 60 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS A WHOLE AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE NORTHERLY LINE OF THE SOUTH 16.80 FEET OF SAID LOT 5 WITH THE EASTERLY LINE THEREOF; THENCE WESTERLY ALONG SAID NORTHERLY LINE TO THE WESTERLY LINE OF SAID LOT 5; THENCE NORTHERLY ALONG THE WESTERLY LINES OF SAID LOT 5, 4, 3 AND 2 OF SAID BLOCK, TO THE NORTHERLY LINE OF THE SOUTHERLY 9.80 FEET OF SAID LOT 2; THENCE EASTERLY ALONG SAID NORTHERLY LINE TO THE EASTERLY LINE OF SAID LOT 2; THENCE SOUTHERLY ALONG THE EASTERLY LINES OF SAID LOTS 2, 3, 4 AND 5 TO THE POINT OF BEGINNING.

PARCEL H: (5546–004–029; 5546–004–032)

THOSE PORTIONS OF LOTS 1 AND 2 IN BLOCK 21 OF HOLLYWOOD, IN THE CITY OF LOS ANGELES, AS PER MAP RECORDED IN BOOK 28, PAGES 59 AND 60 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS A WHOLE AS FOLLOWS:

BEGINNING AT THE NORTHWESTERLY CORNER OF SAID LOT 2, WHICH IS A POINT IN THE EAST LINE OF IVAR AVENUE (70 FEET WIDE); THENCE ALONG THE WEST LINE OF SAID LOT 1 NORTH 00°05'30" EAST 5.31 FEET, MORE OR LESS, TO THE SOUTHERLY LINE OF YUCCA STREET, AS DESCRIBED IN PARCEL 117 OF DECREE OF CONDEMNATION ENTERED IN CASE NO. 202–550 OF THE SUPERIOR COURT OF SAID COUNTY, AS CERTIFIED COPY OF SAID DECREE BEING RECORDED ON OCTOBER 18, 1929 AS INSTRUMENT NO. 1085, IN BOOK 9421, PAGE 173 OF OFFICIAL RECORDS, IN THE OFFICE OF SAID RECORDER; THENCE ALONG SAID YUCCA STREET NORTH 48°33'16" EAST 13.26 FEET AND SOUTH 82°58'58" EAST 122.48 FEET, MORE OR LESS, TO THE WEST LINE OF THE EAST 50.00 FEET OF SAID LOTS 1 AND 2; THENCE SOUTHERLY ALONG THE LAST MENTIONED WEST LINE 54.50 FEET, MORE OR LESS, TO THE NORTH LINE OF THE SOUTH 9.89 FEET OF SAID LOT 2; THENCE WESTERLY ALONG SAID NORTH LINE 131.50 FEET TO THE WEST LINE OF SAID LOT 2; THENCE ALONG SAID WEST LINE 55.20 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

PARCEL I:

PARCEL 1: (APN: 5546–030–033)

THAT PORTION OF LOT 1 OF TRACT NO. 18237, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 529 PAGES 10 AND 11 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST WESTERLY SOUTHWEST CORNER OF SAID LOT; THENCE NORTHERLY ALONG THE WESTERLY LINE OF SAID LOT TO A LINE WHICH IS PARALLEL WITH THE MOST SOUTHERLY LINE OF SAID LOT 1 AND DISTANT 119.96 FEET NORTHERLY THEREFROM MEASURED AT RIGHT ANGLES, TO SAID SOUTHERLY LINE; THENCE EASTERLY ALONG SAID LAST MENTIONED PARALLEL LINE TO A LINE WHICH IS PARALLEL WITH AND DISTANT 260.00 FEET EASTERLY MEASURED A RIGHT ANGLES FROM THE CENTER LINE OF VINE STREET 100.00 FEET WIDE, AS SHOWN ON THE MAP OF SAID TRACT NO. 18237; THENCE NORTHERLY ALONG SAID LAST MENTIONED PARALLEL LINE TO A POINT IN THE NORTHERLY LINE OF SAID LOT 1; THENCE NORTH 89° 52' 27" EAST ALONG SAID LAST MENTIONED NORTHERLY LINE TO THE EASTERLY TERMINUS OF THAT CERTAIN COURSE IN THE NORTHERLY LINE OF SAID LOT SHOWN ON THE MAP OF SAID TRACT AS HAVING A BEARING AND LENGTH OF SOUTH 89° 52' 27" WEST 195.04 FEET; THENCE SOUTHERLY ALONG A TANGENT CURVE IN THE BOUNDARY LINE OF SAID LOT CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 14.49 FEET AND AN ARC LENGTH OF 23.51 FEET TO THE END THEREOF; THENCE SOUTH 0° 16' 00" EAST ALONG THE EASTERLY LINE OF SAID LOT, TO A POINT 171.50 FEET, NORTHERLY MEASURED ALONG SAID EASTERLY LINE FROM THE SOUTHEASTERLY CORNER OF SAID LOT, SAID POINT BEING THE TRUE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE SOUTH 0° 16' 00" EAST ALONG SAID EASTERLY LINE 171.50 FEET TO THE SOUTHEASTERLY CORNER OF SAID LOT; THENCE SOUTH 89° 37' 45" WEST 109.50 FEET ALONG THE SOUTHERLY LINE OF SAID LOT TO AN ANGLE POINT THEREIN; THENCE CONTINUING ALONG SAID SOUTHERLY LINE NORTH 48° 55' 41" WEST 30.21 FEET TO AN ANGLE POINT THEREIN; THENCE SOUTH 89° 37' 45" WEST ALONG THE SOUTHERLY LINE OF SAID LOT AND ITS WESTERLY PROLONGATION SHOWN ON SAID MAP AS HAVING A BEARING OF SOUTH 89° 37' 45" WEST AND A LENGTH OF 39.92 FEET TO A LINE WHICH IS PARALLEL WITH AND DISTANT 232.67 FEET EASTERLY MEASURED AT RIGHT ANGLES FROM THE CENTER LINE OF VINE STREET ABOVE DESCRIBED; THENCE NORTHERLY ALONG SAID LAST MENTIONED PARALLEL LINE TO A POINT ON THE LINE ABOVE DESCRIBED AS BEING PARALLEL WITH THE MOST SOUTHERLY LINE OF SAID LOT; THENCE EASTERLY ALONG SAID LINE TO THE LINE ABOVE DESCRIBED AS BEING PARALLEL WITH AND DISTANT 260.00 FEET EASTERLY OF THE CENTER LINE OF VINE STREET; THENCE NORTHERLY ALONG SAID PARALLEL LINE TO THE INTERSECTION WITH A LINE PERPENDICULAR TO THE LINE ABOVE DESCRIBED AS THE EASTERLY LINE OF SAID LOT AT THE TRUE POINT OF BEGINNING; THENCE NORTH 89° 44' EAST ALONG SAID PERPENDICULAR LINE TO THE TRUE POINT OF BEGINNING.

SAID LAND IS ALSO KNOWN AS:

BEGINNING AT THE MOST WESTERLY CORNER OF LOT 1, TRACT NO. 18237, AS PER MAP RECORDED IN BOOK 529 PAGES 10 AND 11 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, CALIFORNIA, SAID POINT BEING ON THE EASTERLY RIGHT OF WAY OF VINE STREET 100' WIDE; THENCE N00 DEGREES 15'52"W 119.96'; THENCE N89 DEGREES 37'21"E 182.67' TO THE TRUE POINT OF BEGINNING, THENCE; N89 DEGREES 37'21"E 27.30'; THENCE N00 DEGREES 15'52"W 101.80'; THENCE N89 DEGREES 44'08"E 150.07' TO THE WESTERLY RIGHT OF WAY OF ARGYLE AVENUE 75' WIDE; THENCE SOUTHERLY ALONG SAID RIGHT OF WAY; S00 DEGREES 15'48"E 171.50' TO THE NORTHERLY RIGHT OF WAY OF A PUBLICLY DEDICATED ALLEY WAY BEING 20' WIDE THENCE ALONG SAID RIGHT OF WAY; S89 DEGREES 37'21"W 109.50' THENCE; N48 DEGREES 56'05"W 30.22' THENCE; S89 DEGREES 37'21"W 45.18' TO A POINT WHICH BEARS S00 DEGREES 15'52"E FROM THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE N00 DEGREES 15'52"E 49.99' RETURNING TO THE POINT OF BEGINNING.

PARCEL 2:

A NON–EXCLUSIVE EASEMENT FOR PARKING SPACES AS SET FORTH IN THAT CERTAIN UNRECORDED PARKING EASEMENT AGREEMENT DATED AS OF MARCH 27, 2001, SUBJECT TO THE TERMS THEREIN PROVIDED, AS DISCLOSED BY THAT CERTAIN INSTRUMENT ENTITLED "MEMORANDUM OF PARKING EASEMENT AGREEMENT" RECORDED MARCH 30, 2001 AS INSTRUMENT NO. 01–528743, OFFICIAL RECORDS, AND SUBJECT TO THE TERMS AND PROVISIONS OF THAT CERTAIN "SUBORDINATION, NON– DISTURBANCE AND ATTORNMENT AGREEMENT" RECORDED MARCH 30, 2001 AS INSTRUMENT NO. 01– 0528748 OF OFFICIAL RECORDS. SAID PARKING SPACES ARE LOCATED ON THE PROPERTY DESCRIBED IN EXHIBIT B ATTACHED TO SAID MEMORANDUM OF PARKING EASEMENT AGREEMENT.

LEGAL DESCRIPTION

(PER CHICAGO TITLE COMPANY PRELIMINARY REPORT ORDER No. 00000084196-994-LT2-DB DATED JANUARY 29, 2018) (CONTINUED)

PARCEL J: (APN 5546–030–034)

THOSE PORTIONS OF LOT 1 OF TRACT NO. 18237, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 529 PAGES 10 AND 11 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, AND LOT 6 OF CENTRAL HOLLYWOOD TRACT NO. 2, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 6 PAGE 144 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF LOT 6 OF THE CENTRAL HOLLYWOOD TRACT NO. 2, PER MAP RECORDED IN BOOK 6 PAGE 144 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY; THENCE ALONG THE SOUTHERLY BOUNDARY OF SAID LOT 6, NORTH 89° 37' 45" EAST 153.00 FEET, MORE OR LESS, TO THE WESTERLY LINE OF THE EASTERLY 87.00 FEET OF SAID LOT 6; THENCE NORTH 0° 15' 52" WEST 60.00 FEET TO THE SOUTHERLY LINE OF LOT 1 OF TRACT NO. 18237, PER MAP RECORDED IN BOOK 529, PAGES 10 AND 11, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY; THENCE, ALONG THE BOUNDARY OF SAID LOT 1, NORTH 89° 37' 45" EAST 57.00 FEET, NORTH 0° 16' 00" WEST 30.00 FEET, SOUTH 89° 37' 45" WEST 22.03 FEET, AND NORTH 0° 22' 15" WEST 40.00 FEET; THENCE SOUTH 89° 37' 45" WEST 5.22 FEET, MORE OR LESS, ALONG THE WESTERLY PROLONGATION OF A COURSE IN THE SOUTHERLY BOUNDARY OF SAID LOT 1, TO A LINE WHICH IS PARALLEL WITH AND DISTANT 232.67 FEET EASTERLY MEASURED AT RIGHT ANGLES FROM THE CENTERLINE OF VINE STREET (100 FEET WIDE); THENCE NORTH 0° 15' 52" WEST 49.97 FEET, MORE OR LESS, ALONG LAST SAID PARALLEL LINE TO A LINE WHICH IS PARALLEL WITH AND 119.96 FEET NORTHERLY, MEASURED AT RIGHT ANGLES, FROM THE MOST SOUTHERLY BOUNDARY LINE OF SAID LOT 1; THENCE SOUTH 89° 37' 45" WEST 182.67 FEET TO THE EAST LINE OF VINE STREET; THENCE SOUTH 0° 15' 52" EAST 179.96 FEET TO THE POINT OF BEGINNING.

SAID LAND IS SHOWN ON THAT CERTAIN CERTIFICATE OF COMPLIANCE RECORDED MARCH 30, 2001 AS INSTRUMENT NO. 01–528740.

EXCEPTIONS

(PER CHICAGO TITLE COMPANY PRELIMINARY REPORT ORDER No. 00000084196-994-LT2-DB DATED JANUARY 29, 2018)

THE FOLLOWING MATTERS AFFECT PARCELS A, B, C, D & E:

⟨3⟩ EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

PURPOSE: PUBLIC STREET AND HIGHWAY
RECORDING DATE:OCTOBER 18, 1929
RECORDING DATE:1085, IN BOOK 9421, PAGE 173, OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND

⟨4⟩ EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

PURPOSE: PUBLIC UTILITIES
RECORDING DATE: MAY 16, 1955
RECORDING NO: 2621, OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND

⟨5⟩ EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

PURPOSE: PUBLIC UTILITIES
RECORDING DATE: JUNE 21, 1957
RECORDING NO: 3761, OFFICIAL RECORDS
AFFECTS: A PORTION OF SAID LAND

8. COVENANT AND AGREEMENT WHEREIN THE OWNERS AGREE TO HOLD SAID LAND AS ONE PARCEL AND NOT TO SELL ANY PORTION THEREOF SEPARATELY. SAID COVENANT IS EXPRESSED TO RUN WITH THE LAND AND BE BINDING UPON FUTURE OWNERS.

RECORDING DATE: DECEMBER 18, 2000
RECORDING NO.: 00–1966012, OFFICIAL RECORDS

REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

MATTERS AFFECTING PARCELS A, B, C, D & E NOT LISTED HEREON ARE NOT EASEMENT ITEMS AND/OR ARE BLANKET IN NATURE

THE FOLLOWING MATTERS AFFECT PARCELS F & G:

22. COVENANT AND AGREEMENT WHEREIN THE OWNERS AGREE TO HOLD SAID LAND AS ONE PARCEL AND NOT TO SELL ANY PORTION THEREOF SEPARATELY. SAID COVENANT IS EXPRESSED TO RUN WITH THE LAND AND BE BINDING UPON FUTURE OWNERS.

RECORDING DATE: FEBRUARY 23, 2001
RECORDING NO.: 01–0307395, OFFICIAL RECORDS

REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

MATTERS AFFECTING PARCELS F & G NOT LISTED HEREON ARE NOT EASEMENT ITEMS AND/OR ARE BLANKET IN NATURE

THE FOLLOWING MATTERS AFFECT PARCEL H:

⟨26⟩ AN IRREVOCABLE OFFER TO DEDICATE AN EASEMENT OVER A PORTION OF SAID LAND FOR

PURPOSE(S): FUTURE STREET
RECORDING DATE: JULY 14, 1987
RECORDING NO: 87–1112284 OF OFFICIAL RECORDS

AFFECTS: PORTIONS OF THE LAND, THE EXACT LOCATION OF WHICH CAN BE DETERMINED BY EXAMINATION OF THE ABOVE–MENTIONED INSTRUMENT, WHICH CONTAINS A COMPLETE LEGAL DESCRIPTION OF THE AFFECTED PORTIONS OF SAID LAND.

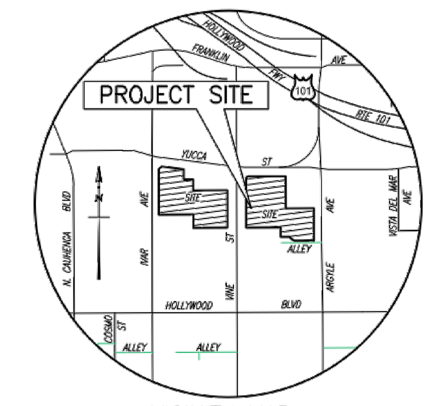
LIMITATIONS ON THE USE, BY THE OWNERS OF SAID LAND, OF THE EASEMENT AREA AS SET FORTH IN THE EASEMENT DOCUMENT SHOWN HERE IN ABOVE.

REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

SAID OFFER WAS ACCEPTED BY RESOLUTION, A CERTIFIED COPY OF WHICH WAS RECORDED APRIL 12, 1989 AS INSTRUMENT NO. 89– 567553 OF OFFICIAL RECORDS.

MATTERS AFFECTING PARCEL H NOT LISTED HEREON ARE NOT EASEMENT ITEMS AND/OR ARE BLANKET IN NATURE

MATTERS AFFECTING PARCELS I & J NOT LISTED HEREON ARE NOT EASEMENT ITEMS AND/OR ARE BLANKET IN NATURE



VICINITY MAP
NOT TO SCALE

AREAS

TOTAL EXISTING PROPERTY AREA
194,495 SQ. FT. OR 4.465 AC.

TOTAL PROPOSED SIDEWALK EASEMENT AREA
5,163 SQ. FT. OR 0.119 AC.

TOTAL PROPOSED ALLEY MERGER AREA
1,267 SQ. FT. OR 0.029 AC.

TOTAL AREA FOR F.A.R. CALCULATIONS
200,925 SQ. FT. OR 4.613 AC.

STREET DESIGNATIONS

IVAR AVENUE	LOCAL STREET STD.
YUCCA STREET WEST	AVENUE II
VINE STREET	AVENUE II
YUCCA STREET EAST	LOCAL STREET STD.
ARGYLE AVENUE	LOCAL STREET STD.

COMMENTS

BOUNDARY LINES . . . WERE ESTABLISHED FROM THE RECOVERED CITY, COUNTY AND/OR PRIVATE ENGINEER MONUMENTS WHOSE CHARACTER AND SOURCE ARE SO NOTED ON THE SURVEY.

⟨#⟩ . . . . INDICATES PRELIMINARY TITLE REPORT EXCEPTION NUMBER PLOTTED HEREON

SITE ADDRESS . . . . 1749, 1755, 1777 VINE STREET, 1754 IVAR AVENUE, AND 6334 YUCCA STREET, LOS ANGELES, CA

APN NO. . . . . 5546–004–006, 5546–004–020, 5546–004–021, 5546–004–029, 5546–004–030, 5546–004–032, 5546–030–028, 5546–030–029, 5546–030–031, 5546–030–032, 5546–030–033, & 5546–030–034 (PORTION)

DATE OF SURVEY . . . FEBRUARY 11, 2018

BASIS OF BEARINGS . . THE BEARING OF N0°16'00"W ALONG THE CENTERLINE OF VINE STREET AS SHOWN ON TRACT No. 60544, AS FILED IN BOOK 1325, PAGES 54 & 55, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCH MARK . . . . CITY OF LA BM# 12–20689,
1FT N/O N CURB YUCCA ST 3FT E/O BCR E/O VINE ST W/S CS

ELEV. = 400.846 FT; NGVD 1929, RECORDED 1985

FLOOD INSURANCE RATE MAP. . . . . . . SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "X" BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 06037C1605F, WITH A DATE OF IDENTIFICATION OF SEPTEMBER 26, 2008, FOR COMMUNITY NUMBER 065043, IN COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.

UTILITIES . . . . ALL VISIBLE ABOVE–GROUND UTILITY FEATURES SHOWN ON THIS MAP WERE OBTAINED BY CONVENTIONAL MEANS. ABOVE–GROUND UTILITIES WERE COMBINED WITH CITY OF LA SUBSTRUCTURE MAPS TO PLOT UNDERGROUND UTILITY LINES SHOWN HEREON. NO REPRESENTATION IS MADE AS TO THE COMPLETENESS OF SAID UTILITY INFORMATION AND ANY USER OF THIS INFORMATION SHOULD CONTACT THE UTILITY OR GOVERNMENT AGENCY DIRECTLY.

PUBLIC ACCESS . . . PUBLIC ACCESS TO SITE FROM YUCCA STREET, IVAR STREET, VINE STREET AND ARGYLE AVENUE.

ZONING . . . . . . EXISTING: (T)(Q)C2–2–SN
ZONING INFORMATION WAS OBTAINED PER CITY OF LA ZIMAS WEBSITE DECEMBER 15, 2017
http://zimas.lacity.org/

SETBACKS
FRONT: NONE REQUIRED
SIDE: NONE REQUIRED
REAR: NONE REQUIRED

FAR: NO LIMIT

BUILDING HEIGHT: NO LIMIT

PREPARED UNDER THE DIRECTION OF:

Christopher Jones, PLS Digitally signed by Christopher Jones, PLS DN: C=US, E=chris.jones@kpff.com, O=KPFF, OU=LA Survey, CN="Christopher Jones, PLS" Date: 2018.03.30 09:30:30-07'00' 03/30/2018

CHRISTOPHER JONES, PLS 8193 DATE

LICENSED LAND SURVEYOR CHRISTOPHER M. JONES No.8193 STATE OF CALIFORNIA

NO.	DATE	REVISIONS
6		
5		
4	18/03/30	AREA UPDATE
3	18/03/29	BOUNDARY AND AREA UPDATE
2	18/03/08	MAP UPDATE, TITLE REPORT & LEGAL UPDATE
1	18/02/15	MAP UPDATE

PROJECT #	1700060
DATE PREPARED	12/20/2017
DRAWN BY	DA
CHECKED BY	CJ

HOLLYWOOD CENTER

PREPARED FOR:

MAYER BROWN LLP
ATTN: MR. EDGAR KHALATIAN
350 SOUTH GRAND AVENUE, 25TH FLOOR
LOS ANGELES, CA 90071

kpff
700 FLOWER ST., Suite 2100
Los Angeles, CA 90017
O: 213.418.0201
F: 213.266.5294
www.kpff.com

SHEET 1 OF 4

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

SURVEY DESCRIPTION

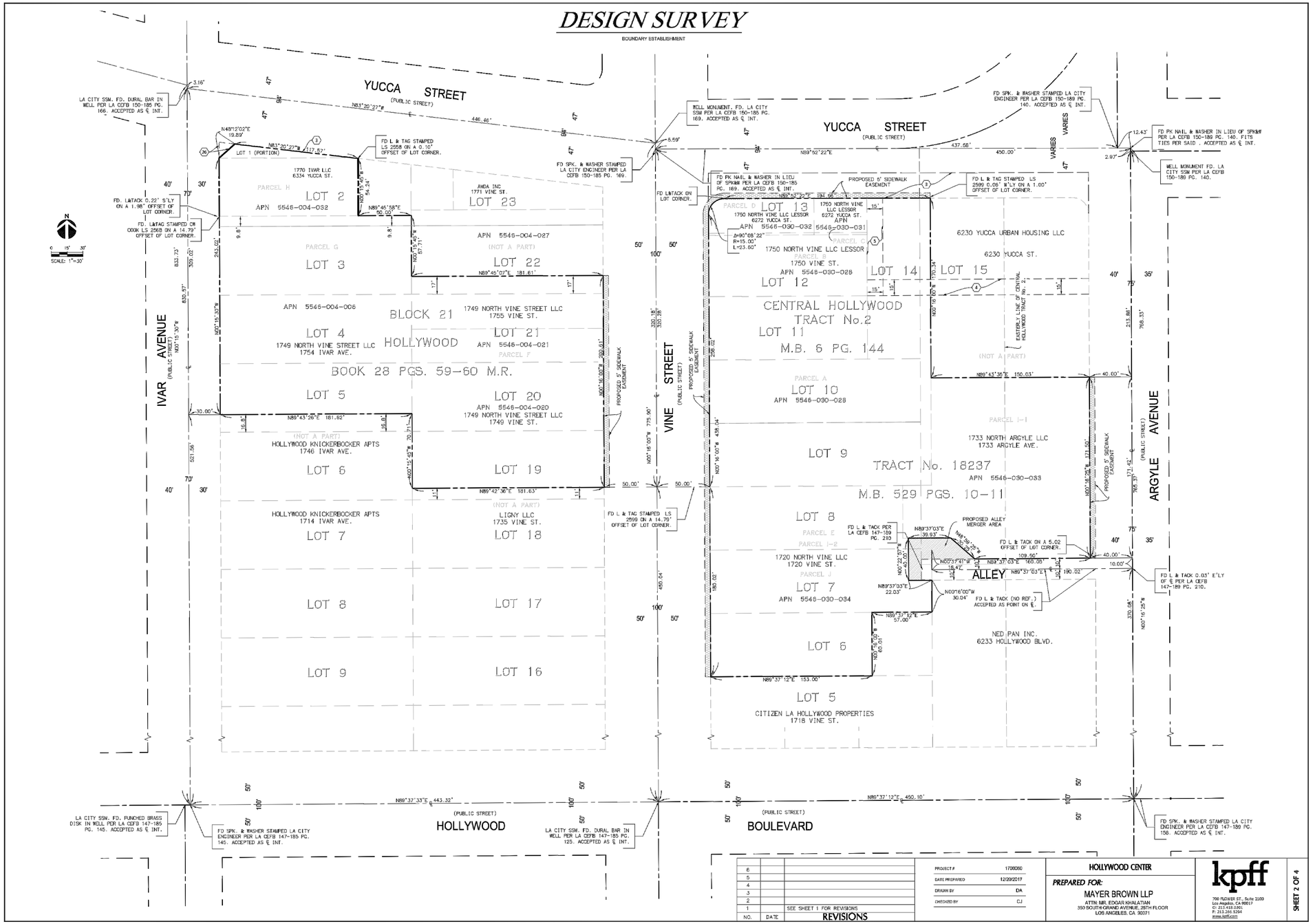
DRAWING NO:

G-003

© Handel Architects LLP 2018

SURVEY OVERALL SITE

SCALE: NTS



HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

SURVEY
OVERALL SITE

DRAWING NO:

G-004

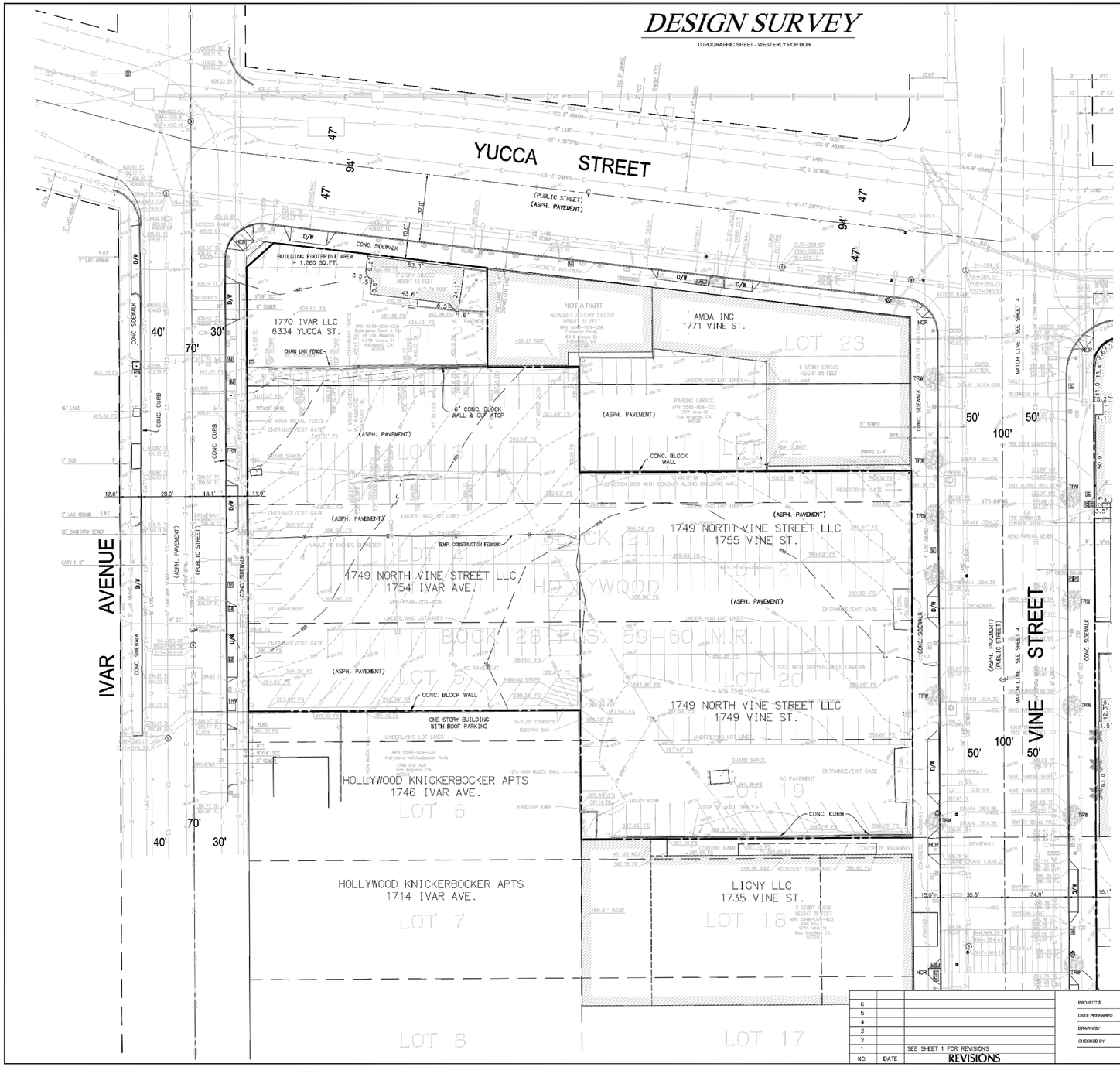
© Handel Architects LLP 2018

SURVEY WEST SITE

SCALE: NTS

DESIGN SURVEY

TOPOGRAPHIC SHEET - WESTERLY PORTION



ABBREVIATIONS

ASPH	ASPHALT
AC	ASPHALT CONCRETE
AD	AREA DRAIN
BW	BACK OF WALK
CONC.	CONCRETE
CBW	CONCRETE BLOCK WALL
CO	CURB DRAIN
DI	DROP INLET
DG	DRAIN GRATE
D/W	DRIVEWAY APRON
ELEV	ELEVATION
ELEC.	ELECTRICAL
EV	ELECTRICAL VAULT
FF	FINISHED FLOOR
FL	FLOW LINE
FS	FINISH SURFACE (HARDSCAPE)
GV	GAS VALVE
HCR	HANDICAP RAMP
INV	INVERT OF PIPE
LA	LANDSCAPE AREA
LIP	LIP OF GUTTER
MH	MANHOLE
NTS	NOT TO SCALE
SCO	SEWER CLEANOUT
SDMH	STORM DRAIN MANHOLE
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
SCT	SOUTHERN CALIFORNIA TELEPHONE
SL	STREET LIGHT
TC	TOP OF CURB
TRW	TREE WELL
TS	TRAFFIC SIGNAL
VLT	VAULT
WVLT	WATER VAULT
WV	WATER VALVE
N'LY	NORTHERLY
S'LY	SOUTHERLY
E'LY	EASTERLY
W'LY	WESTERLY
NE'LY	NORTHEASTERLY
NW'LY	NORTHWESTERLY
SE'LY	SOUTHEASTERLY
SW'LY	SOUTHWESTERLY
℄	CENTERLINE

LEGEND

AREA LIGHT
BOLLARD
DRAIN
ELECTRICAL MANHOLE
FIRE HYDRANT
FIRE DEPARTMENT CONNECTION
GAS VALVE
GAS METER
PARKING METER
STREET LIGHT
STREET LIGHT PULL BOX
SEWER MANHOLE
SEWER CLEAN OUT
SIGN
STORM DRAIN MANHOLE
TELEPHONE MANHOLE
TRAFFIC SIGNAL POLE
TRAFFIC SIGNAL PULLBOX
TREE
TREE PALM
UTILITY POLE
WATER VALVE
WATER METER
WATER MANHOLE
OVERHEAD LINE
CONCRETE CURB
WALL
CHAIN LINK FENCE
WROUGHT IRON FENCE

NO.	DATE	REVISIONS
6		
5		
4		
3		
2		
1		SEE SHEET 1 FOR REVISIONS

PROJECT #	1700050
DATE PREPARED	12/20/2017
DRAWN BY	DA
CHECKED BY	CJ

HOLLYWOOD CENTER

PREPARED FOR:

MAYER BROWN LLP
ATTN: MR. EDGAR KHALATIAN
350 SOUTH GRAND AVENUE, 25TH FLOOR
LOS ANGELES, CA 90071

kpff
700 FLOWER ST., Suite 2100
Los Angeles, CA 90017
O: 213.418.0201
F: 213.266.5294
www.kpff.com

SHEET 3 OF 4

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

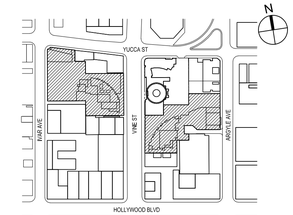
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:

SURVEY WEST SITE

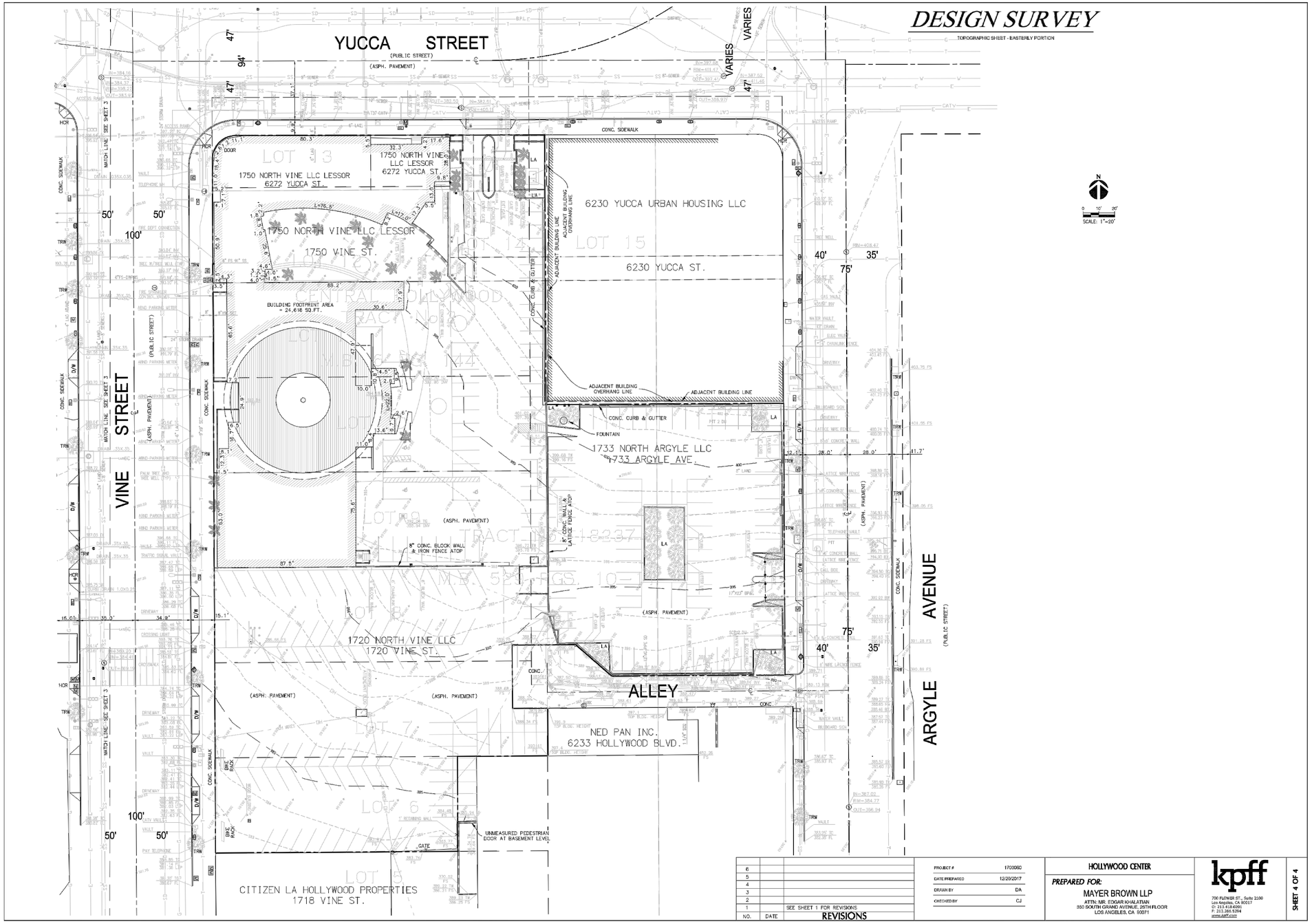
DRAWING NO:

G-005

© Handel Architects LLP 2018

SURVEY EAST SITE

SCALE: NTS



NO.	DATE	REVISIONS
6		
5		
4		
3		
2		
1		SEE SHEET 1 FOR REVISIONS

PROJECT #	1700060
DATE PREPARED	12/20/2017
DRAWN BY	DA
CHECKED BY	CJ

HOLLYWOOD CENTER

PREPARED FOR:
MAYER BROWN LLP
ATTN: MR. EDGAR KHALATIAN
350 SOUTH GRAND AVENUE, 25TH FLOOR
LOS ANGELES, CA 90071

kpff
700 FLOWER ST., Suite 3100
Los Angeles, CA 90017
O: 213.418.0201
F: 213.266.5294
www.kpff.com

SHEET 4 OF 4

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

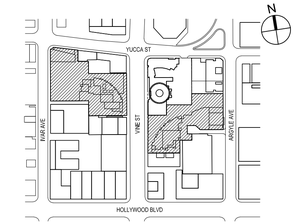
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

SURVEY EAST SITE

DRAWING NO:

G-006

© Handel Architects LLP 2018

PROJECT SUMMARY

UNIT MIX SUMMARY	WEST	EAST	TOTAL
RESIDENTIAL BUILDINGS			
1BR	195	175	**370**
2BR	198	172	**370**
3BR	56	76	**132**
SUB-TOTAL	**449**	**423**	**872**
SENIOR BUILDINGS			
1BR	59	53	**112**
2BR	9	12	**21**
SUBTOTAL	**68**	**65**	**133**
TOTAL PROVIDED	**517**	**488**	**1005**
TOTAL ALLOWED (200,925 / 200)			**1005**

PARKING & BIKE SUMMARY	CAR		BIKE [3]			
			SHORT TERM		LONG TERM	
	REQ.	PROV.	REQ.	PROV.	REQ.	PROV.
Residential	830	1,242	47	47	474	474
Commercial	157	279 [2]	15	15	15	15
TOTAL	987	1,521	62	62	489	489

1 PER AB 744, ANY NUMBER OTHER THAN A WHOLE NUMBER SHALL BE ROUNDED UP TO THE NEXT WHOLE NUMBER.

2 INCLUSIVE OF THE 97 CAPITOL RECORDS CofO

3 DOES NOT INCLUDE BIKE PARKING FOR EXISTING USES

RESIDENTIAL OPEN SPACE SUMMARY	REQUIRED	PROVIDED
OPEN SPACE	**120,175**	**120,175**
PLANTING	**23,844**	**23,844**
TREES	**252**	**252**

PROJECT ADDRESS	6236-6334 West Yucca Street 1745-1770 North Vine Street 1733-1741 Argyle Avenue
GENERAL PLAN DESIGNATION	Regional Center Commercial
EXISTING ZONE	(T)(Q) C2-2-SN; C4-2D-SN
PROPOSED ZONE	C2-2-SN

APN & LEGAL				
APN	**LOT**	**ARB**	**BLOCK**	**TRACT**
5546-030-028	LT 1	2	None	TR 18237
5546-030-031	FR 13	3	None	Central Hollywood Tract No. 2
5546-030-032	FR 13	2	None	Central Hollywood Tract No. 2
5546-030-033	LT 1	3	None	TR 18237
5546-030-034	FR 6	None	None	Central Hollywood Tract No. 2
5546-004-032	FR 1	None	21	Hollywood
5546-004-029	FR 2	1	21	Hollywood
5546-004-006	4	1	21	Hollywood
5546-004-020	21	2	21	Hollywood
5546-004-021	21	1	21	Hollywood

SITE SUMMARY			
WEST SITE AREA		78,629	
EAST SITE AREA	+	115,866	
TOTAL SITE AREA		**194,495**	**SF**
EAST SITE ALLEY MERGER	+	1,267	
SIDEWALK MERGER AREA	+	5,163	**SF**
TOTAL PROJECT SITE LOT AREA		**200,925**	
TOTAL PROPOSED			
BUILDABLE AREA @ 6.0 : 1 FAR (Base)		1,205,550	
BUILDABLE AREA @ 8.1 : 1 FAR (Density Bonus)		1,627,493	
WEST BUILDING		582,640	
WEST SENIOR BUILDING		66,104	
EAST BUILDING		572,755	
EAST SENIOR BUILDING	+	65,651	
TOTAL NEW PROPOSED FLOOR AREA		**1,287,150**	SF
EXISTING CAPITOL RECORDS BUILDING	+	*114,303*	
TOTAL BUILDABLE AREA USED		**1,401,453**	**SF**
TOTAL FAR		6.975	

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

PROJECT SUMMARY

DRAWING NO:

G-007

© Handel Architects LLP 2018

WEST SITE

WEST SITE UNIT MIX

	TYPE	AVG. AREA	COUNT	AREA
WEST BUILDING	1BR	901 sf	195	175,614
	2BR	1,316 sf	198	260,582
	3BR	1,669 sf	51	85,115
	PH	2,727 sf	5	13,636
	TOTAL		**449**	**534,947** *
	TYPE	AVG. AREA	COUNT	AREA
WEST SENIOR BUILDING	1BR	858 sf	59	50,628
	2BR	1296 sf	9	11,661
	TOTAL		**68**	**62,289** *
TOTAL			**517**	**597,235** *

* NOTE: NUMBERS ARE ROUNDED UP TO THE NEAREST WHOLE NUMBER WHEN DECIMAL IS GREATER THAN OR EQUAL TO .5

WEST SITE AREA BREAKDOWN

	TOTAL BUILDING PROGRAM *		PARKING	RETAIL / RESTAURANT	RESIDENTIAL	RESIDENTIAL AMENITY, LOBBIES, BOH
	LEVEL	ZONING FLOOR AREA (SF)	AREA PER FLOOR (SF)	AREA PER FLOOR (SF)	AREA PER FLOOR (SF) (EXCLUDES BALCONY AREA)	AREA PER FLOOR (SF)
WEST SENIOR BUILDING	**IVAR GROUND**	1,920	-			1,920.0
	2	6,224		-	4,328.6	1,895.0
	3-10 (8 FLOORS)	51,520			6,440.0	-
	11	6,440			6,440.0	-
	MECH PH	-			-	-
	SUB-TOTAL	**66,104** *	**-** **-**	**-**	**62,288.6**	**3,815.0**
WEST BUILDING						
	B5	-				
	B1-B4	-				
	VINE GROUND	13,059	-	3,810.2		9,248.6
	1M	34,634		8,881.0		25,752.6
	2-25 (LO-TIER, 24 FLOORS)	379,136		-	15,797.3	
	26-34 (HI-TIER, 9 FLOORS)	142,176	-	-	15,797.3	-
	35	13,635		-	13,635.3	
	MECH PH	-	-	-		-
	SUB-TOTAL	**582,640** *	**-** **-**	**12,691.2**	**534,946.9**	**35,001.3**
WEST SITE DEVELOPMENT TOTALS		**648,744** *	**-** **-**	**12,691.2**	**597,235.5**	**38,816.3**

* NOTE: NUMBERS ARE ROUNDED UP TO NEAREST WHOLE NUMBER WHEN DECIMAL IS GREATER THAN .5

CAR PARKING WEST SITE

WEST BUILDING

UNIT TYPE	sp/br	# Units	Code Required		Provided
0~1 BR	0.5	195	97.5		212
2 BR	0.5	198	198.0		315
3 BR	0.5	56	84.0		129
SUBTOTAL		449	**379.5**		**656**

WEST SENIOR BUILDING

	sp/br	# Units	Code Required		Provided
0~1 BR	0.5	59	29.5		30
2 BR	0.5	9	9.0		9
SUBTOTAL		68	**38.5**	*	**39**

COMMERCIAL

Per 1000sf	2	12,691	**25.4**		**142**
TOTAL PARKING SPACES			**443**	*	**837**
NUMBER OF EV SPACES (INCLUSIVE)					**84**

BIKE PARKING

		LONG TERM		SHORT TERM	
Unit Range	sp/unit	# Units	Req/Prd	sp/unit	Req/Prd
1~25	1.00	25	25	0.100	2.50
26~100	0.67	75	50	0.067	5.00
101~200	0.50	100	50	0.050	5.00
200+	0.25	249	62	0.025	6.23
		449	187		**18.7**
sp/ unit		# Units	Req/Prd		
1~25	1.00	25	25	0.100	2.5
26~100	0.67	43	29	0.067	2.9
		68	54		**5.4**
1 / 2000sf		12,691	**6**		**6**
TOTAL BIKE SPACES REQUIRED & PROVIDED			**247**		**30**

* NOTE: PER AB 744, ANY NUMBER OTHER THAN A WHOLE NUMBER SHALL BE ROUNDED UP TO THE NEXT WHOLE NUMBER.

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:

WEST SITE - DATA

DRAWING NO:

G-008

© Handel Architects LLP 2018

WEST SITE OPEN SPACE

WEST SITE TREE CALCULATION	
PER LAMC SECTION 12.21 G.2 - MIN. 24" BOX TREE PER 4 UNITS REQUIRED	
TREES REQUIRED WITH 449 UNITS	112.25
TREES REQUIRED WITH 68 UNITS	17.00
TOTAL WEST SITE TREES REQUIRED	**130.00**
WEST SITE TREES PROVIDED:	119
WEST SITE STREET TREES PROVIDED:	11
TOTAL TREES PROVIDED	130

REFER TO LANDSCAPE SHEETS L-001 TO L-136 FOR ADDITIONAL INFORMATION

WEST SITE OPEN SPACE PROVIDED			
OUTDOOR COMMON OPEN SPACE			
LEVEL 1 VINE STREET	7,656		
LEVEL 1M GARDEN	1,000		
LEVEL 2 AMENITY DECK	20,419		
LEVEL 2 SENIOR AFFORDABLE AMENITY DECK	1,080		
SENIOR AFFORDABLE ROOF DECK	4,050		
TOTAL OUTDOOR COMMON SPACE	**34,205**	**SF**	56.00%
REQUIRED OUTDOOR COMMON SPACE	*30,538*		
INDOOR AMENITY SPACES			
LEVEL 1M RESIDENTIAL AMENITY	12,075		
LEVEL 2 RESIDENTIAL AMENITY PAVILIONS	1,000		
LEVEL 2 SENIOR AFFORDABLE AMENITY	1,895		
TOTAL INDOOR AMENITY SPACE	**14,970**	**SF**	24.51%
			80.52%
PRIVATE OPEN SPACE			
RESIDENTIAL BALCONIES	**11,900**	**SF**	19.48%
TOTAL OPEN SPACE PROVIDED	**61,075**	**SF**	100.00%
TOTAL OPEN SPACE REQUIRED	**61,075**	**SF**	

PER LAMC SECTION 12.21 G.2:

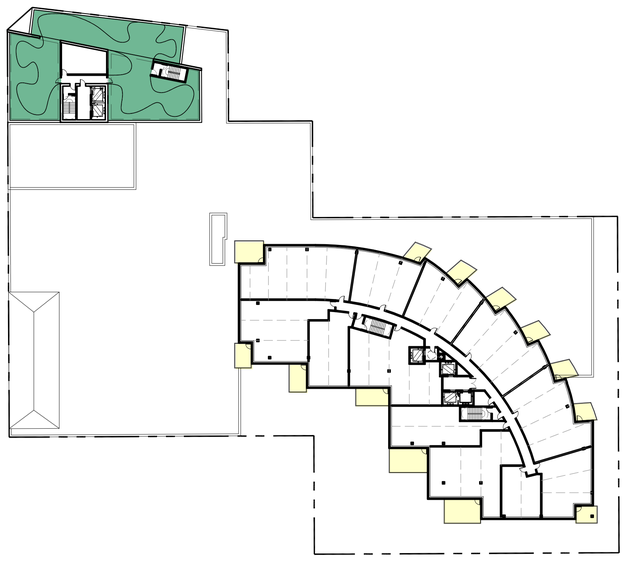
WEST SITE OPEN SPACE REQUIRED			
WEST BUILDING			
UNIT TYPE(HABITABLE ROOMS)	NUMBER	RQ'D AREA/UNIT	RQ'D OPEN SPACE
1BR (2 Habitable Rooms)	195	100 SF	19,500 SF
2BR (3 Habitable Rooms)	198	125 SF	24,750 SF
3BR (4 Habitable Rooms)	56	175 SF	9,800 SF
TOTAL	449		**54,050 SF**
WEST SENIOR BUILDING			
UNIT TYPE(HABITABLE ROOMS)	NUMBER	RQ'D AREA/UNIT	RQ'D OPEN SPACE
1BR (2 Habitable Rooms)	5	100 SF	5,900 SF
2BR (3 Habitable Rooms)	0	125 SF	1,125 SF
3BR (4 Habitable Rooms)	0	175 SF	0 SF
TOTAL	68		**7,025 SF**

TOTAL 61,075 SF

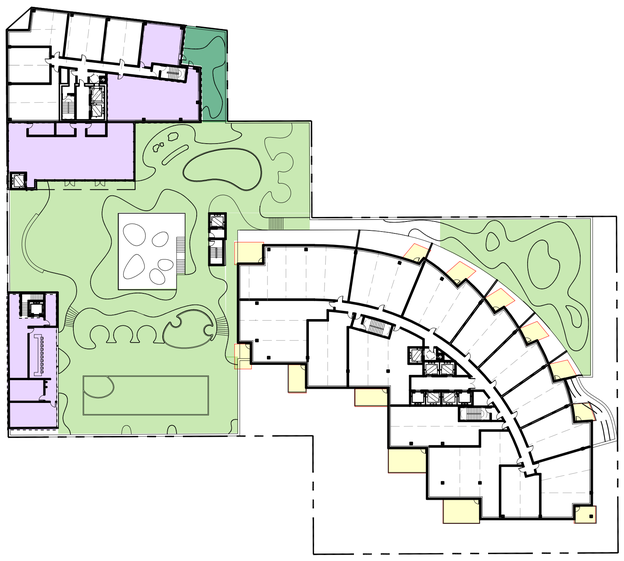
PLANTING REQUIREMENT -	
25% OF COMMON OPEN SPACE IS REQUIRED TO BE PLANTED	
= 34,205sf + 14,970 sf = 49,175 sf x 25%	12,294 SF
LEVEL 1 PLANTING	-
LEVEL 1M GARDEN PLANTING	430
LEVEL 2 AMENITY DECK PLANTING	10,184
LEVEL 2 SENIOR AFF. AMENITY DECK PLANTING	490
SENIOR AFF. ROOF DECK PLANTING	2,290
SF OF PLANTED COMMON OPEN SPACE PROVIDED	**13,394 SF**

Total required both sites	23,844
Total provided both sites	23,844

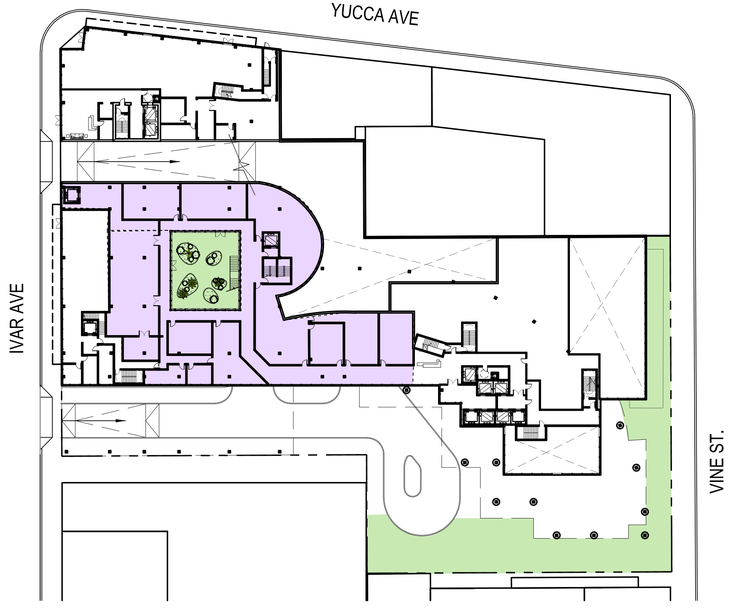
LEGEND
- INDOOR AMENITY SPACE
- OUTDOOR COMMON SPACE
- SENIOR OUTDOOR COMMON SPACE
- BALCONY/TERRACE SPACE



SENIOR AFFORDABLE ROOF PLAN (3)
SCALE: NTS



LEVEL 2 AMENITY DECK (2)
SCALE: NTS



GROUND LEVEL PLAN (1)
SCALE: NTS

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
WEST SITE - OPEN SPACE

DRAWING NO:
G-009

© Handel Architects LLP 2018

EAST SITE

EAST SITE UNIT MIX

	TYPE	AVG. AREA	COUNT	AREA
EAST BUILDING	1BR	927 sf	175	162,158
	2BR	1,398 sf	172	240,384
	3BR	1,629 sf	71	115,693
	PH	2,171 sf	5	10,857
	TOTAL		**423**	**529,092** *
	TYPE	AVG. AREA	COUNT	AREA
EAST SENIOR BUILDING	1BR	840 sf	53	44,551
	2BR	1,435 sf	12	17,226
	TOTAL		**65**	**61,777** *
TOTAL			**488**	**590,869** *

* NOTE: NUMBERS ARE ROUNDED UP TO THE NEAREST WHOLE NUMBER WHEN DECIMAL IS GREATER THAN OR EQUAL TO .5

EAST SITE AREA BREAKDOWN

		TOTAL BUILDING PROGRAM *	PARKING	RETAIL / RESTAURANT	RESIDENTIAL	RESIDENTIAL AMENITY, LOBBIES, BOH
	LEVEL	ZONING FLOOR AREA (SF)	AREA PER FLOOR (SF)	AREA PER FLOOR (SF)	AREA PER FLOOR (SF) (EXCLUDES BALCONY AREA)	AREA PER FLOOR (SF)
EAST SENIOR BUILDING	ARGYLE GROUND	1,874	-			1,874.1
	2	6,347		-	4,347.0	2,000.0
	3-10 (8 FLOORS)	51,049			6,381.1	-
	11	6,381			6,381.1	-
	MECH PH	-			-	-
	SUBTOTAL	65,651 *	- -	-	61,776.9	3,874.1
EAST BUILDING						
	B5		-			
	B1-B4	4,196	- -	-	-	4,196.1
	BM (ARGYLE)	7,580	- -	7,580.2	-	
	VINE GROUND	19,283	-	9,905.3	-	9,377.6
	2	12,604	- -	-	-	12,604.0
	3-6 (LO-TIER, 4 FLOORS)	48,208	- -	-	12,052.0	
	7-29 (MID-TIER, 23 FLOORS)	277,196	-	-	12,052.0	
	30-45 (HI-TIER, 16 FLOORS)	192,832	-	-	12,052.0	-
	46	10,856	-	-	10,856.0	-
	MECH PH	-	-	-		-
	SUB-TOTAL	572,755 *	- -	17,485.5	529,092.0	26,177.7
EAST SITE DEVELOPMENT TOTALS		638,406 *	- -	17,485.5	590,868.9	30,051.8

* NOTE: NUMBERS ARE ROUNDED UP TO NEAREST WHOLE NUMBER WHEN DECIMAL IS GREATER THAN .5

CAR PARKING EAST SITE

EAST BUILDING

UNIT TYPE	sp/br	# Units	Code Required		Provided
0~1 BR	0.5	175	87.5	152.3	152
2 BR	0.5	172	172.0	224.5	224
3 BR	0.5	76	114.0	132.2	132
SUBTOTAL		423	**373.5**	*	**508**

EAST SENIOR BUILDING

	sp/br	# Units	Code Required		Provided
0~1 BR	0.5	53	26.5		27
2 BR	0.5	12	12.0		12
SUBTOTAL		65	**38.5**	*	**39**

COMMERCIAL					
Per 1000sf	2	17,485	**35.0**		**40**
CAPITOL RECORDS REPLACEMENT (PER C of O)			**97.0**		**97.0**
TOTAL PARKING SPACES			**544**	*	**684**
NUMBER OF EV SPACES (INCLUSIVE)					**69**

BIKE PARKING

	LONG TERM				SHORT TERM	
Unit Range	sp/unit	# Units	Req/Prd		sp/unit	Req/Prd
1~25	1.00	25	25		0.100	2.5
26~100	0.67	75	50		0.067	5.0
101~200	0.50	100	50		0.050	5.0
200+	0.25	223	56		0.025	5.6
		423	181			**18.1**
sp/ unit		# Units	Req/Prd			
1~25	1.00	25	25		0.100	2.5
26~100	0.67	40	27		0.067	2.7
		65	52			**5.2**
1 / 2000sf		17,485	**9**			**8.7**
TOTAL BIKE SPACES REQUIRED & PROVIDED			**242**			**32**

* NOTE: PER AB 744, ANY NUMBER OTHER THAN A WHOLE NUMBER SHALL BE ROUNDED UP TO THE NEXT WHOLE NUMBER.

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

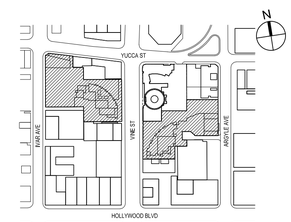
ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:

EAST SITE - DATA

DRAWING NO:

G-010

© Handel Architects LLP 2018

EAST SITE

EAST SITE TREE CALCULATION	
PER LAMC SECTION 12.21 G.2 - MIN. 24" BOX TREE PER 4 UNITS REQUIRED	
TREES REQUIRED WITH 423 UNITS	105.75
TREES REQUIRED WITH 65 UNITS	16.25
TOTAL EAST SITE TREES REQUIRED	**122.00**
EAST SITE TREES PROVIDED:	108
EAST SITE STREET TREES PROVIDED:	14
TOTAL TREES PROVIDED	122

REFER TO LANDSCAPE SHEETS L-001 TO L-136 FOR ADDITIONAL INFORMATION

EAST SITE OPEN SPACE PROVIDED			
OUTDOOR COMMON OPEN SPACE			
LEVEL 1 VINE/ARGYLE STREET	22,300		
LEVEL 2 AMENITY DECK	8,200		
SENIOR AFFORDABLE ROOF DECK	4,800		
TOTAL OUTDOOR COMMON SPACE	**35,300**	**SF**	59.73%
REQUIRED OUTDOOR COMMON SPACE	*29,550*		
INDOOR AMENITY SPACES			
LEVEL 2 RESIDENTIAL AMENITY	8,900		
LEVEL 2 SENIOR AFFORDABLE AMENITY	2,000		
TOTAL INDOOR AMENITY SPACE	**10,900**	**SF**	18.44%
			78.17%
PRIVATE OPEN SPACE			
RESIDENTIAL BALCONIES	**12,900**	**SF**	21.83%
TOTAL OPEN SPACE PROVIDED	**59,100**	**SF**	100.00%
TOTAL OPEN SPACE REQUIRED	**59,100**	**SF**	

PER LAMC SECTION 12.21 G.2:

EAST SITE OPEN SPACE REQUIRED			
EAST BUILDING			
UNIT TYPE(HABITABLE ROOMS)	NUMBER	RQ'D AREA/UNIT	RQ'D OPEN SPACE
1BR (2 Habitable Rooms)	175	100 SF	17,500 SF
2BR (3 Habitable Rooms)	172	125 SF	21,500 SF
3BR (4 Habitable Rooms)	76	175 SF	13,300 SF
TOTAL	423		**52,300 SF**
EAST SENIOR BUILDING			
UNIT TYPE(HABITABLE ROOMS)	NUMBER	RQ'D AREA/UNIT	RQ'D OPEN SPACE
1BR (2 Habitable Rooms)	53	100 SF	5,300 SF
2BR (3 Habitable Rooms)	12	125 SF	1,500 SF
3BR (4 Habitable Rooms)	0	175 SF	0 SF
TOTAL	65		**6,800 SF**

TOTAL 59,100 SF

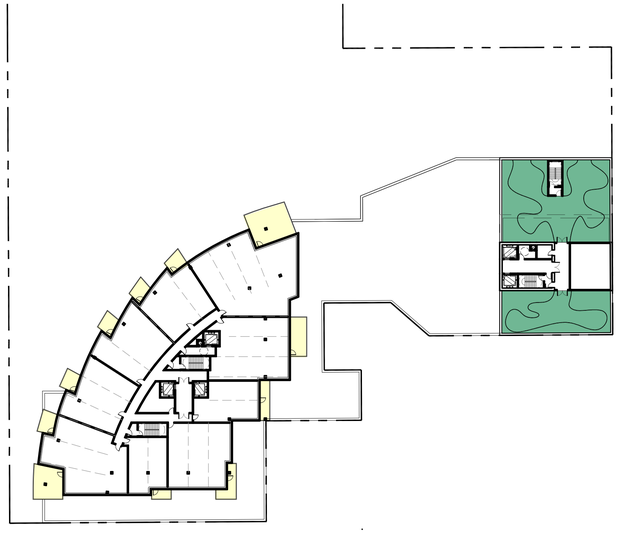
PLANTING REQUIREMENT -	
25% OF COMMON OPEN SPACE IS REQUIRED TO BE PLANTED	
= 35,300 sf + 10,900 sf = 46,200 sf x 25%	11,550 SF
LEVEL 1 PLANTING	2,100
LEVEL 2 AMENITY DECK PLANTING	5,810
SENIOR AFF. ROOF DECK PLANTING	2,540
TOTAL OPEN SPACE PLANTING PROVIDED	**10,450 * SF**

* NOTE: BALANCE OF 1,225 SF ON WEST SITE

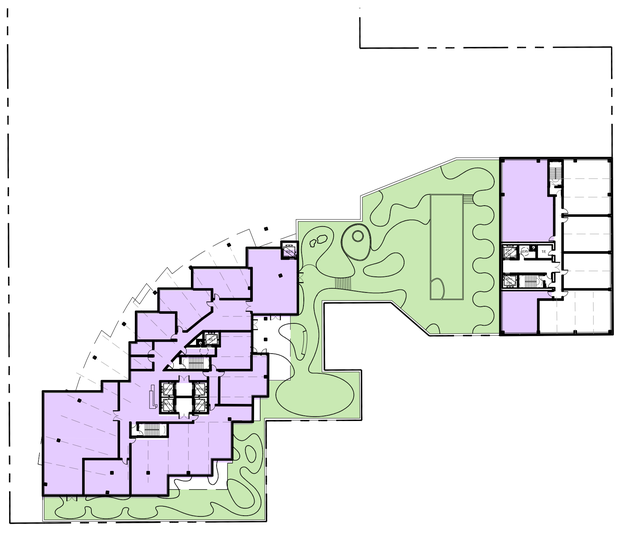
Total required both sites 23,844

Total provided both sites 23,844

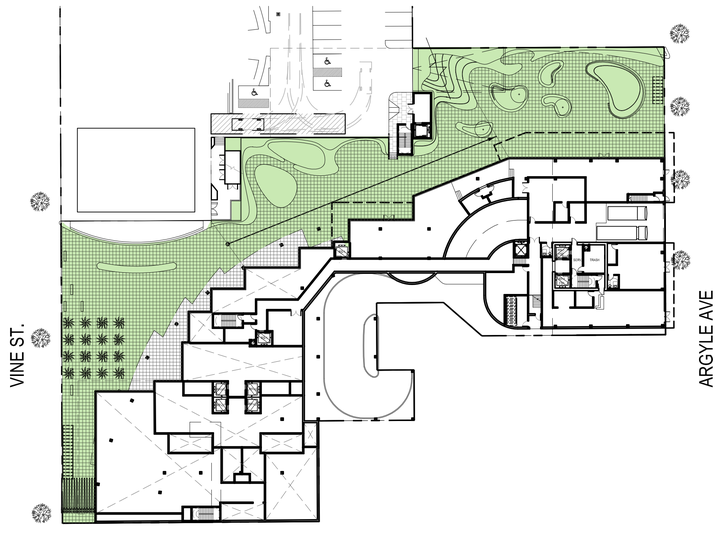
LEGEND
- INDOOR AMENITY SPACE
- OUTDOOR COMMON SPACE
- SENIOR OUTDOOR COMMON SPACE
- BALCONY/TERRACE SPACE



SENIOR AFFORDABLE ROOF PLAN (3)
SCALE: NTS



LEVEL 2 AMENITY DECK (2)
SCALE: NTS



GROUND LEVEL PLAN (1)
SCALE: NTS

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

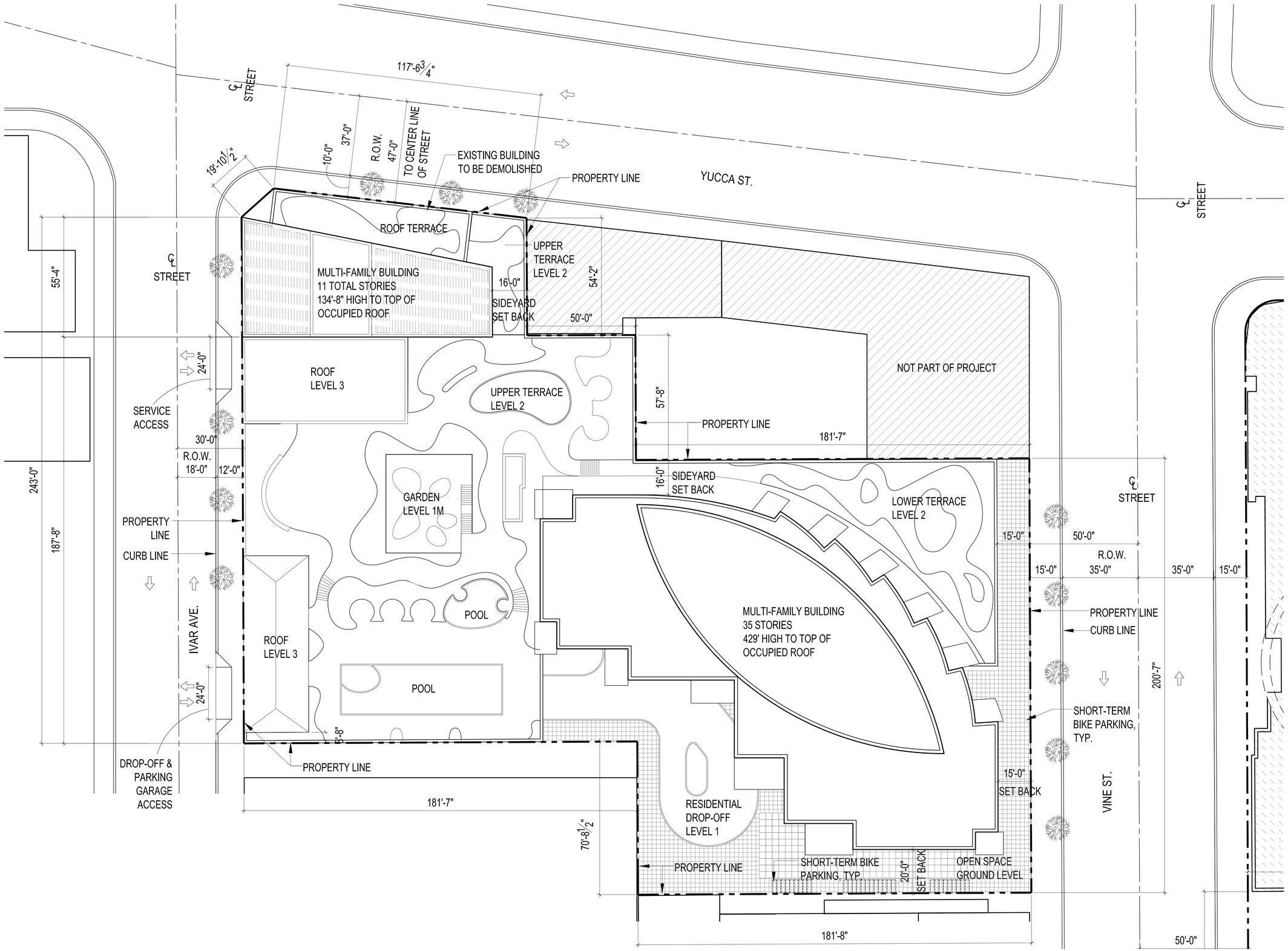
KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
EAST SITE - OPEN SPACE

DRAWING NO:
G-011

© Handel Architects LLP 2018



WEST SITE - PLOT PLAN

SCALE: 1"=20'

1

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

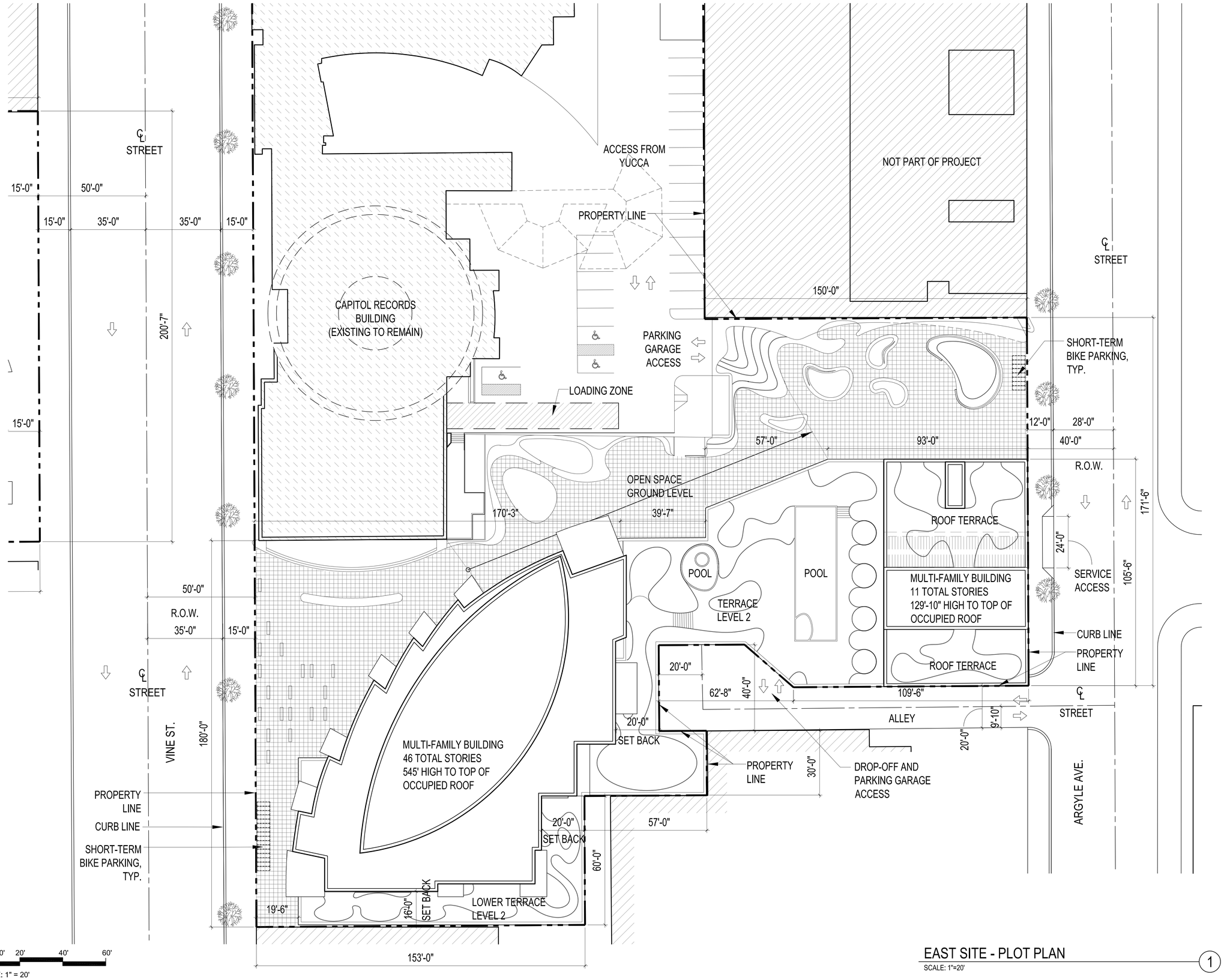
DRAWING TITLE:

WEST SITE - PLOT PLAN

DRAWING NO:

G-012

© Handel Architects LLP 2018



EAST SITE - PLOT PLAN

SCALE: 1"=20'

1

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

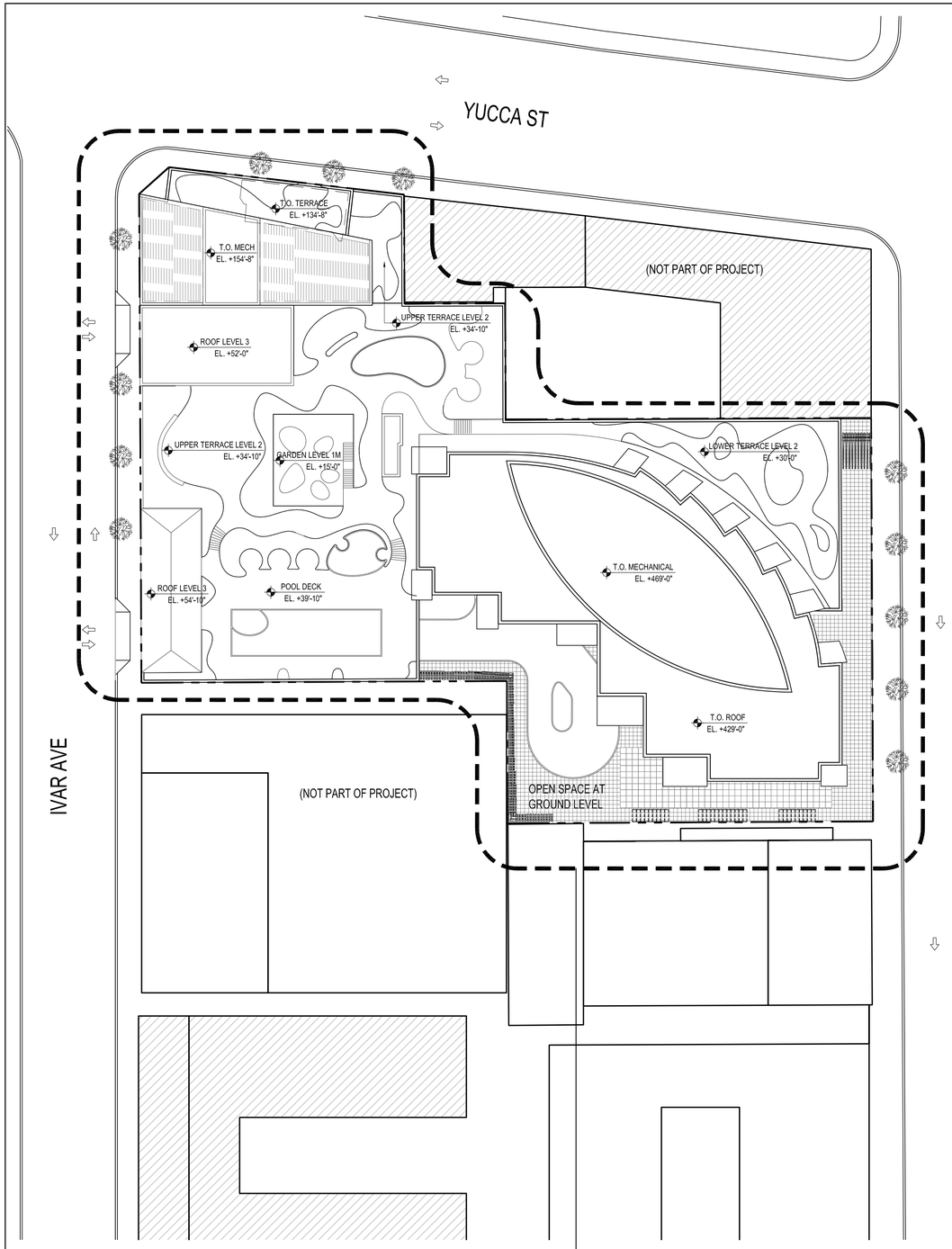
DRAWING TITLE:

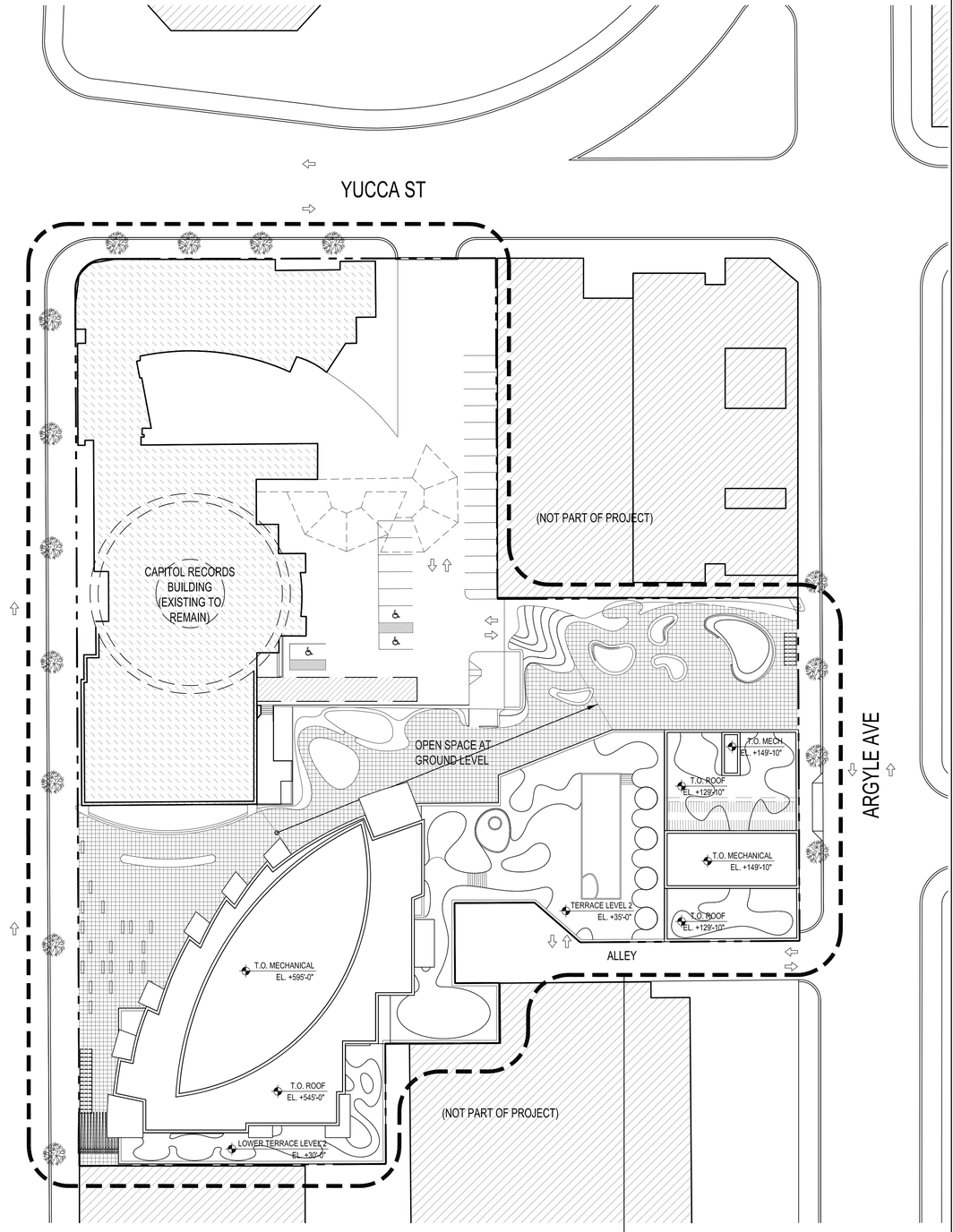
EAST SITE - PLOT PLAN

DRAWING NO:

G-013

© Handel Architects LLP 2018





WEST SITE

EAST SITE

N 0' 10' 30' 60' 100'

SCALE: 1/32" = 1'-0"

SITE PLAN

SCALE: 1/32"= 1'-0"

1

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

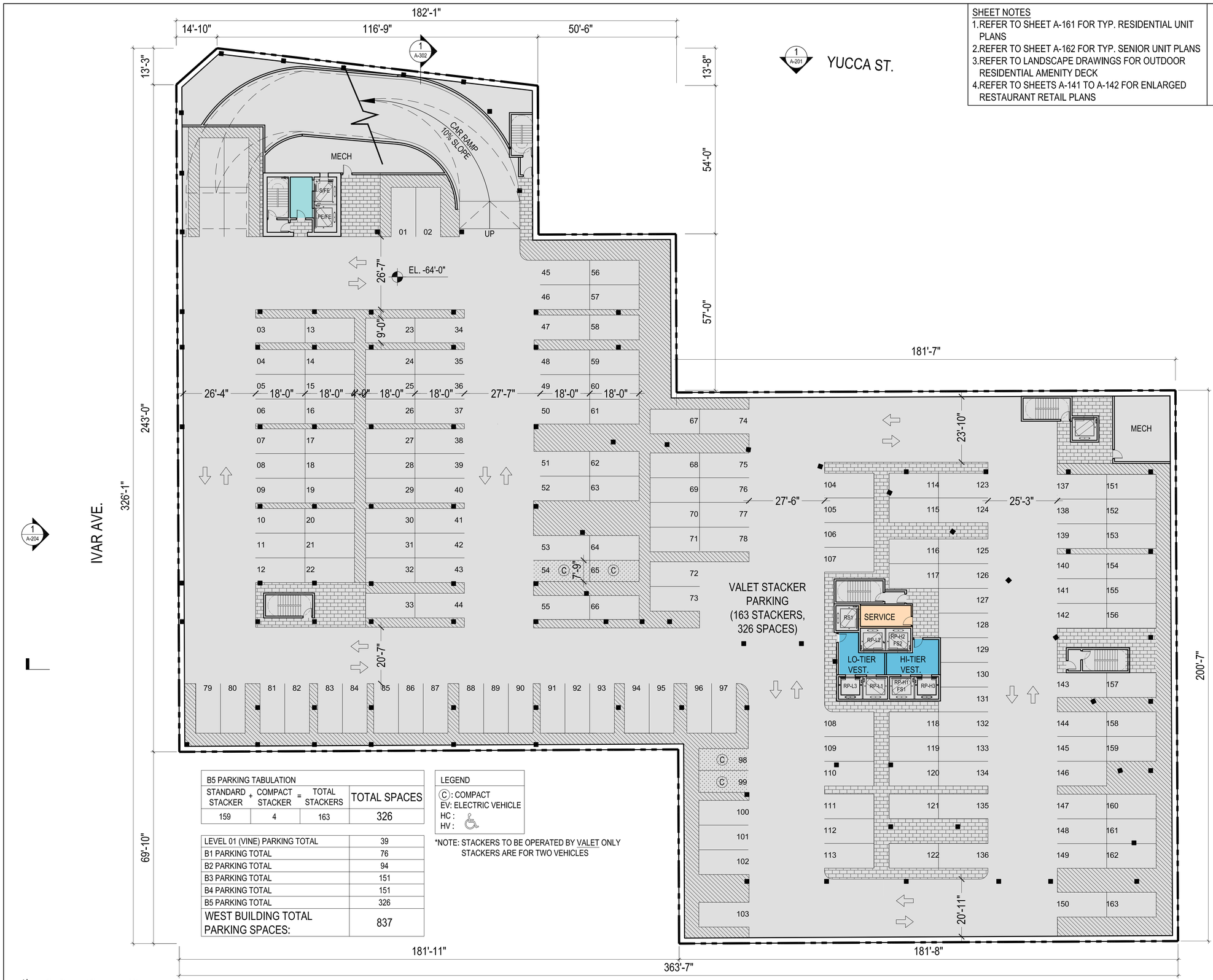
DRAWING TITLE:

SITE PLAN

DRAWING NO:

A-100

© Handel Architects LLP 2018



B5 PARKING TABULATION			
STANDARD STACKER +	COMPACT STACKER =	TOTAL STACKERS	TOTAL SPACES
159	4	163	326

LEVEL 01 (VINE) PARKING TOTAL	39
B1 PARKING TOTAL	76
B2 PARKING TOTAL	94
B3 PARKING TOTAL	151
B4 PARKING TOTAL	151
B5 PARKING TOTAL	326
WEST BUILDING TOTAL PARKING SPACES:	837

LEGEND
(C) : COMPACT
EV: ELECTRIC VEHICLE
HC :
HV :

*NOTE: STACKERS TO BE OPERATED BY VALET ONLY
STACKERS ARE FOR TWO VEHICLES

SHEET NOTES
1. REFER TO SHEET A-161 FOR TYP. RESIDENTIAL UNIT PLANS
2. REFER TO SHEET A-162 FOR TYP. SENIOR UNIT PLANS
3. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
4. REFER TO SHEETS A-141 TO A-142 FOR ENLARGED RESTAURANT RETAIL PLANS

LEGEND
- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- HOTEL
- B.O.H/ BUILDING SERV.
- MECH./ PARKING

N
0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

WEST SITE - LEVEL B5
SCALE: 1/16"= 1'-0"
1

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

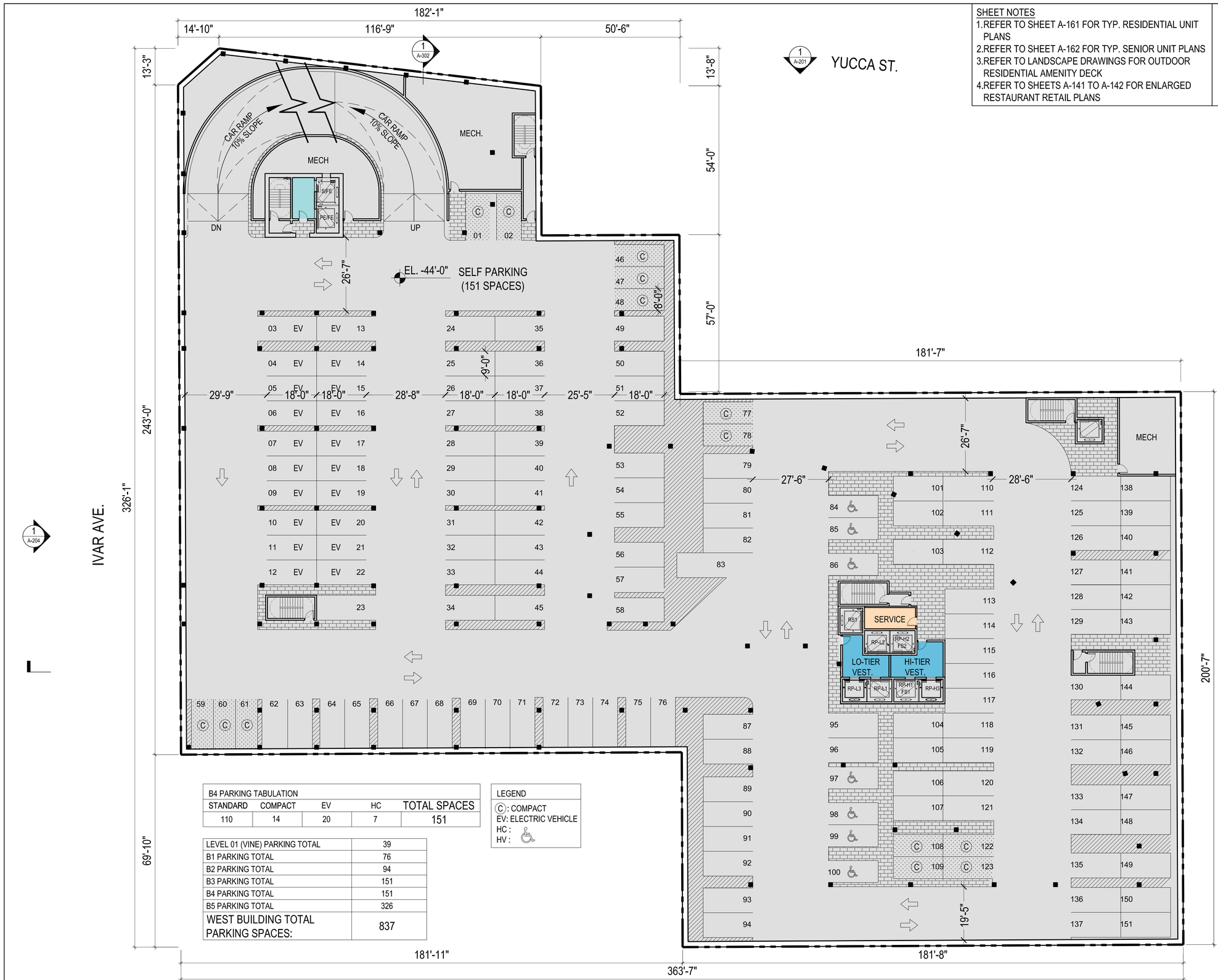
KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
WEST SITE - LEVEL B5

DRAWING NO:
A-101

© Handel Architects LLP 2018



B4 PARKING TABULATION				
STANDARD	COMPACT	EV	HC	TOTAL SPACES
110	14	20	7	151

LEVEL 01 (VINE) PARKING TOTAL	39
B1 PARKING TOTAL	76
B2 PARKING TOTAL	94
B3 PARKING TOTAL	151
B4 PARKING TOTAL	151
B5 PARKING TOTAL	326
WEST BUILDING TOTAL PARKING SPACES:	837

LEGEND
(C): COMPACT
EV: ELECTRIC VEHICLE
HC :
HV :

SHEET NOTES
1. REFER TO SHEET A-161 FOR TYP. RESIDENTIAL UNIT PLANS
2. REFER TO SHEET A-162 FOR TYP. SENIOR UNIT PLANS
3. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
4. REFER TO SHEETS A-141 TO A-142 FOR ENLARGED RESTAURANT RETAIL PLANS

LEGEND
- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- HOTEL
- B.O.H/ BUILDING SERV.
- MECH./ PARKING

N 0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

WEST SITE - LEVEL B4
SCALE: 1/16"= 1'-0"

1

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

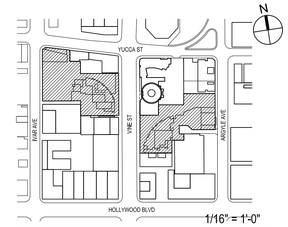
ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

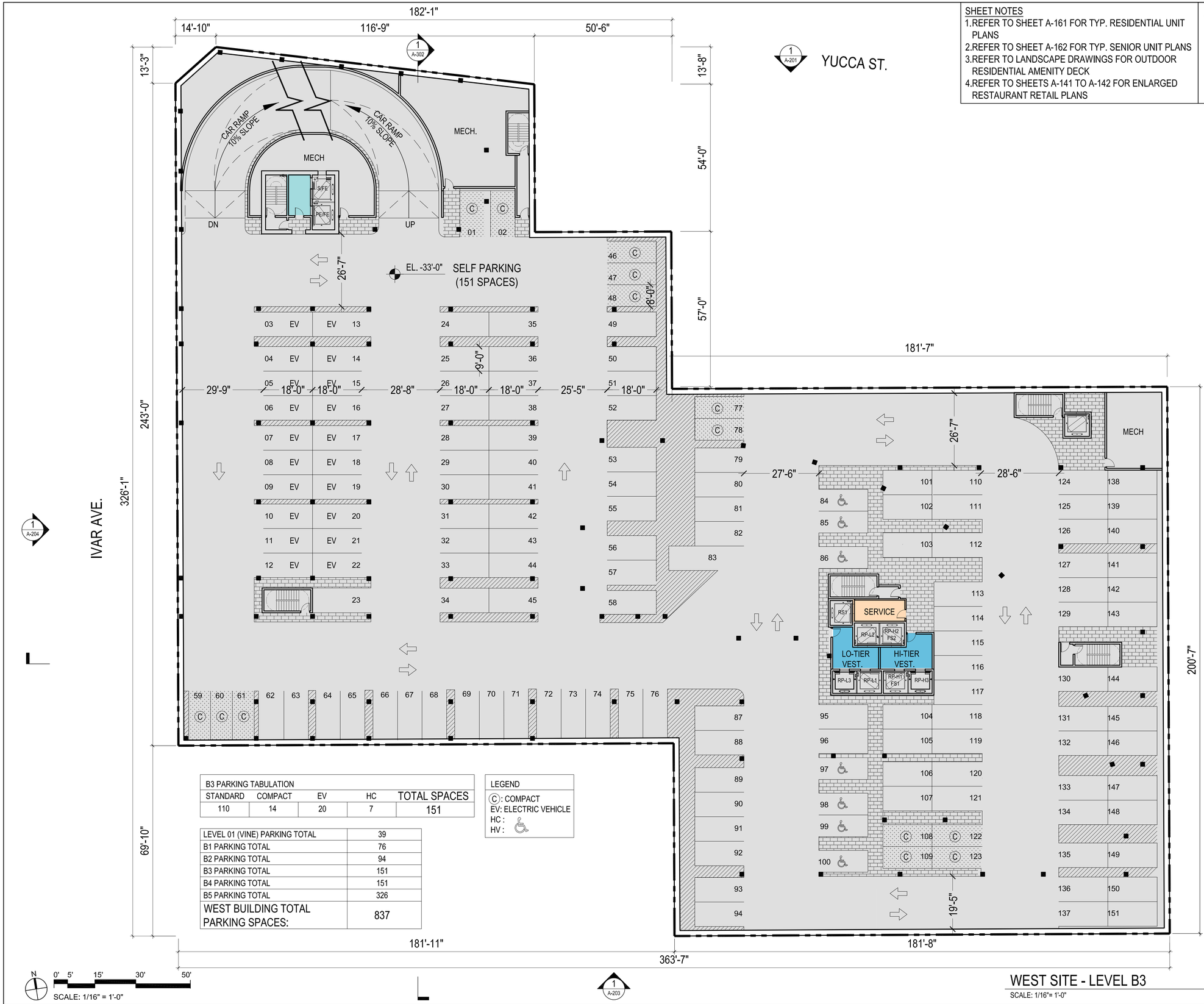


SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
WEST SITE - LEVEL B4

DRAWING NO:
A-102

© Handel Architects LLP 2018



B3 PARKING TABULATION				
STANDARD	COMPACT	EV	HC	TOTAL SPACES
110	14	20	7	151

LEVEL 01 (VINE) PARKING TOTAL	39
B1 PARKING TOTAL	76
B2 PARKING TOTAL	94
B3 PARKING TOTAL	151
B4 PARKING TOTAL	151
B5 PARKING TOTAL	326
WEST BUILDING TOTAL PARKING SPACES:	837

LEGEND
- (C): COMPACT
- EV: ELECTRIC VEHICLE
- HC :
- HV :

SHEET NOTES
1. REFER TO SHEET A-161 FOR TYP. RESIDENTIAL UNIT PLANS
2. REFER TO SHEET A-162 FOR TYP. SENIOR UNIT PLANS
3. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
4. REFER TO SHEETS A-141 TO A-142 FOR ENLARGED RESTAURANT RETAIL PLANS

LEGEND
- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- HOTEL
- B.O.H/ BUILDING SERV.
- MECH./ PARKING

N
0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

WEST SITE - LEVEL B3
SCALE: 1/16"= 1'-0"

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

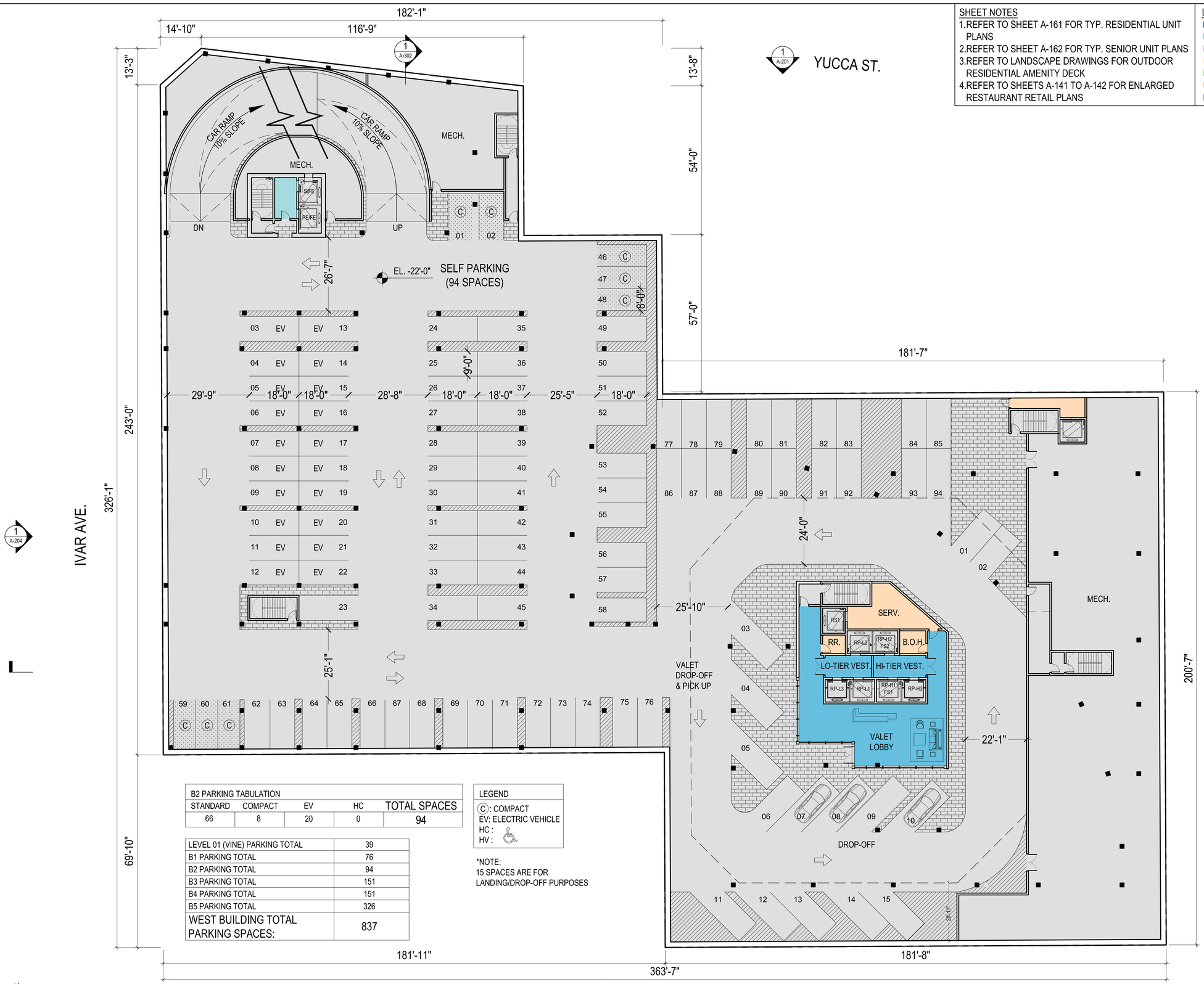
KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
WEST SITE - LEVEL B3

DRAWING NO:
A-103

© Handel Architects LLP 2018



B2 PARKING TABULATION				
STANDARD	COMPACT	EV	HC	TOTAL SPACES
66	8	20	0	94

LEVEL 01 (VINE) PARKING TOTAL	39
B1 PARKING TOTAL	76
B2 PARKING TOTAL	94
B3 PARKING TOTAL	151
B4 PARKING TOTAL	151
B5 PARKING TOTAL	326
WEST BUILDING TOTAL PARKING SPACES:	837

LEGEND
- (C): COMPACT
- EV: ELECTRIC VEHICLE
- HC :
- HV :

*NOTE:
15 SPACES ARE FOR LANDING/DROP-OFF PURPOSES

SHEET NOTES
1. REFER TO SHEET A-161 FOR TYP. RESIDENTIAL UNIT PLANS
2. REFER TO SHEET A-162 FOR TYP. SENIOR UNIT PLANS
3. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
4. REFER TO SHEETS A-141 TO A-142 FOR ENLARGED RESTAURANT RETAIL PLANS

LEGEND
- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- HOTEL
- B.O.H/ BUILDING SERV.
- MECH./ PARKING

N
0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

WEST SITE - LEVEL B2
SCALE: 1/16"= 1'-0"

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

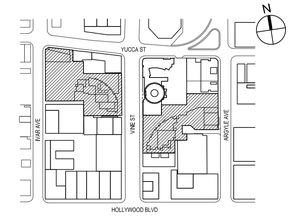
ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

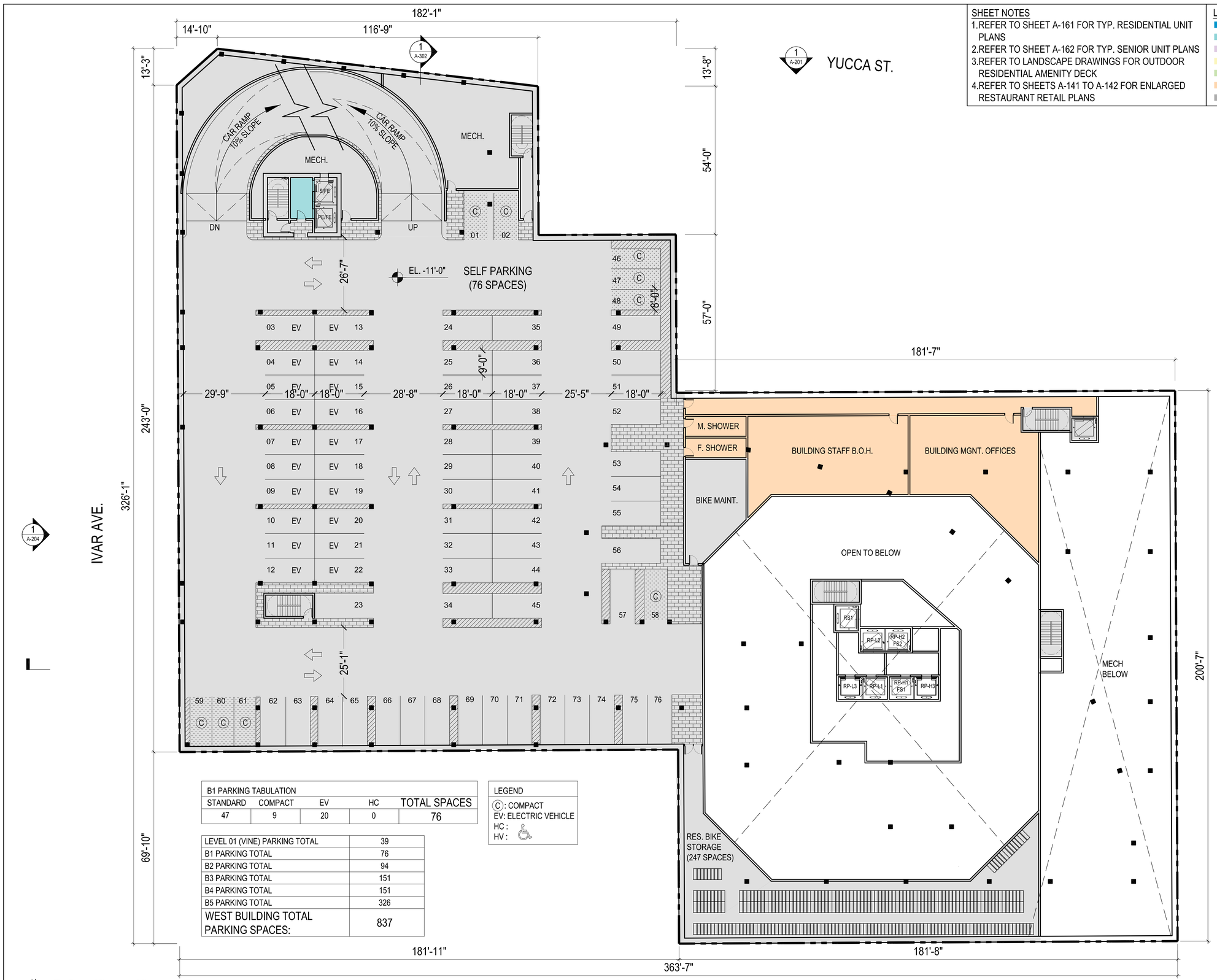


SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
WEST SITE - LEVEL B2

DRAWING NO:
A-104

© Handel Architects LLP 2018



B1 PARKING TABULATION				
STANDARD	COMPACT	EV	HC	TOTAL SPACES
47	9	20	0	76

LEVEL 01 (VINE) PARKING TOTAL	39
B1 PARKING TOTAL	76
B2 PARKING TOTAL	94
B3 PARKING TOTAL	151
B4 PARKING TOTAL	151
B5 PARKING TOTAL	326
WEST BUILDING TOTAL PARKING SPACES:	837

LEGEND
- (C): COMPACT
- EV: ELECTRIC VEHICLE
- HC :
- HV :

SHEET NOTES
1. REFER TO SHEET A-161 FOR TYP. RESIDENTIAL UNIT PLANS
2. REFER TO SHEET A-162 FOR TYP. SENIOR UNIT PLANS
3. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
4. REFER TO SHEETS A-141 TO A-142 FOR ENLARGED RESTAURANT RETAIL PLANS

LEGEND
- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- HOTEL
- B.O.H/ BUILDING SERV.
- MECH./ PARKING

N
0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

WEST SITE - LEVEL B1
SCALE: 1/16"= 1'-0"

1

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
WEST SITE - LEVEL B1

DRAWING NO:
A-105

© Handel Architects LLP 2018

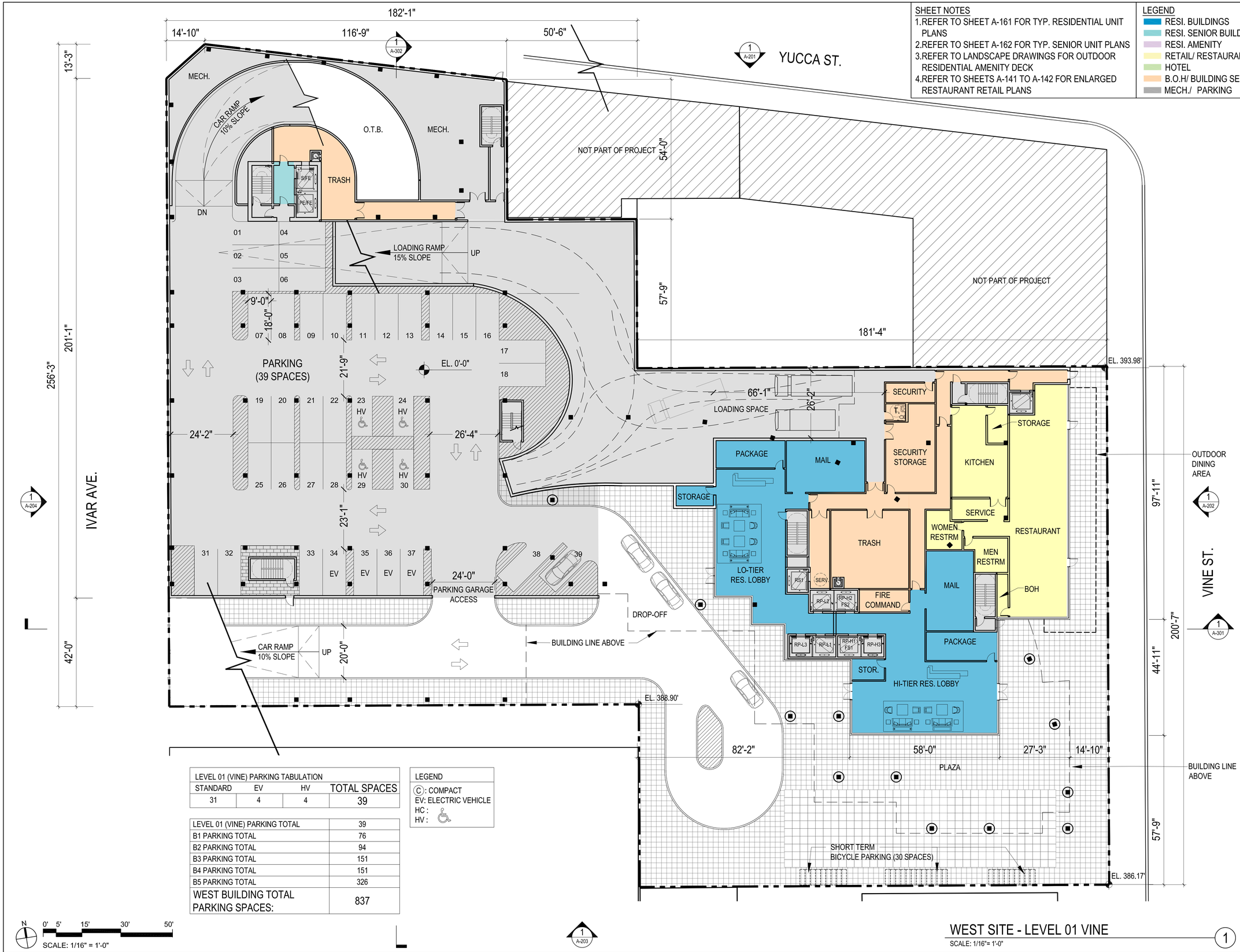
HOLLYWOOD CENTER

SHEET NOTES

1. REFER TO SHEET A-161 FOR TYP. RESIDENTIAL UNIT PLANS
2. REFER TO SHEET A-162 FOR TYP. SENIOR UNIT PLANS
3. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
4. REFER TO SHEETS A-141 TO A-142 FOR ENLARGED RESTAURANT RETAIL PLANS

LEGEND

- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- HOTEL
- B.O.H/ BUILDING SERV.
- MECH./ PARKING



LEVEL 01 (VINE) PARKING TABULATION			
STANDARD	EV	HV	TOTAL SPACES
31	4	4	39

LEVEL 01 (VINE) PARKING TOTAL	39
B1 PARKING TOTAL	76
B2 PARKING TOTAL	94
B3 PARKING TOTAL	151
B4 PARKING TOTAL	151
B5 PARKING TOTAL	326
WEST BUILDING TOTAL PARKING SPACES:	837

LEGEND

Ⓒ: COMPACT
EV: ELECTRIC VEHICLE
HC :
HV :

N 0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

1 A-203

WEST SITE - LEVEL 01 VINE

SCALE: 1/16"= 1'-0"

1

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

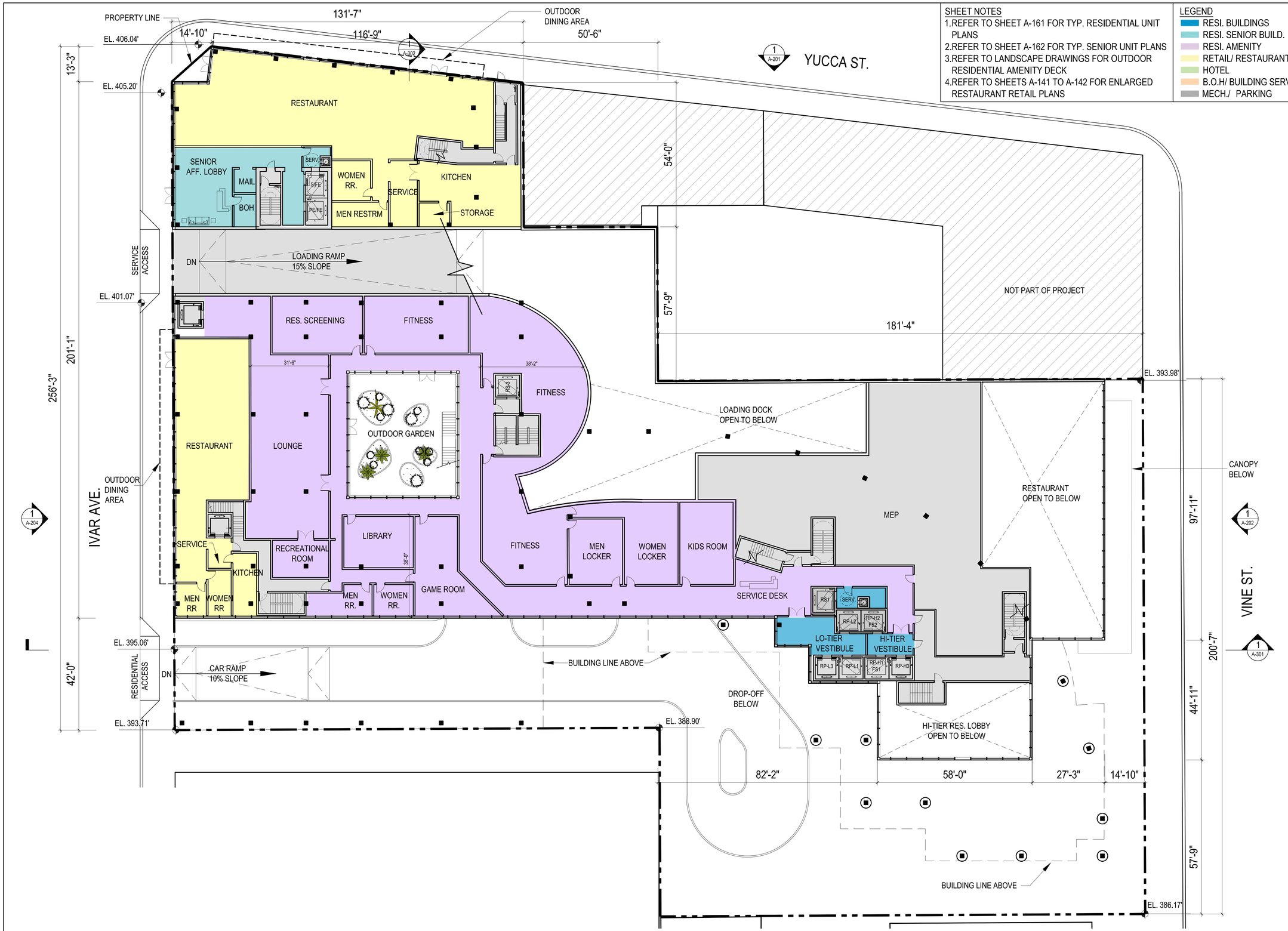
DRAWING TITLE:

WEST SITE - LEVEL 01 (VINE)

DRAWING NO:

A-106

© Handel Architects LLP 2018



SHEET NOTES

1. REFER TO SHEET A-161 FOR TYP. RESIDENTIAL UNIT PLANS
2. REFER TO SHEET A-162 FOR TYP. SENIOR UNIT PLANS
3. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
4. REFER TO SHEETS A-141 TO A-142 FOR ENLARGED RESTAURANT RETAIL PLANS

LEGEND

- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- HOTEL
- B.O.H/ BUILDING SERV.
- MECH./ PARKING

N 0' 5' 15' 30' 50'

SCALE: 1/16" = 1'-0"

WEST SITE - LEVEL 01_MEZZ (IVAR AVE)

SCALE: 1/16"= 1'-0"

1

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

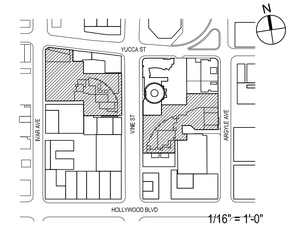
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN



1/16" = 1'-0"

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

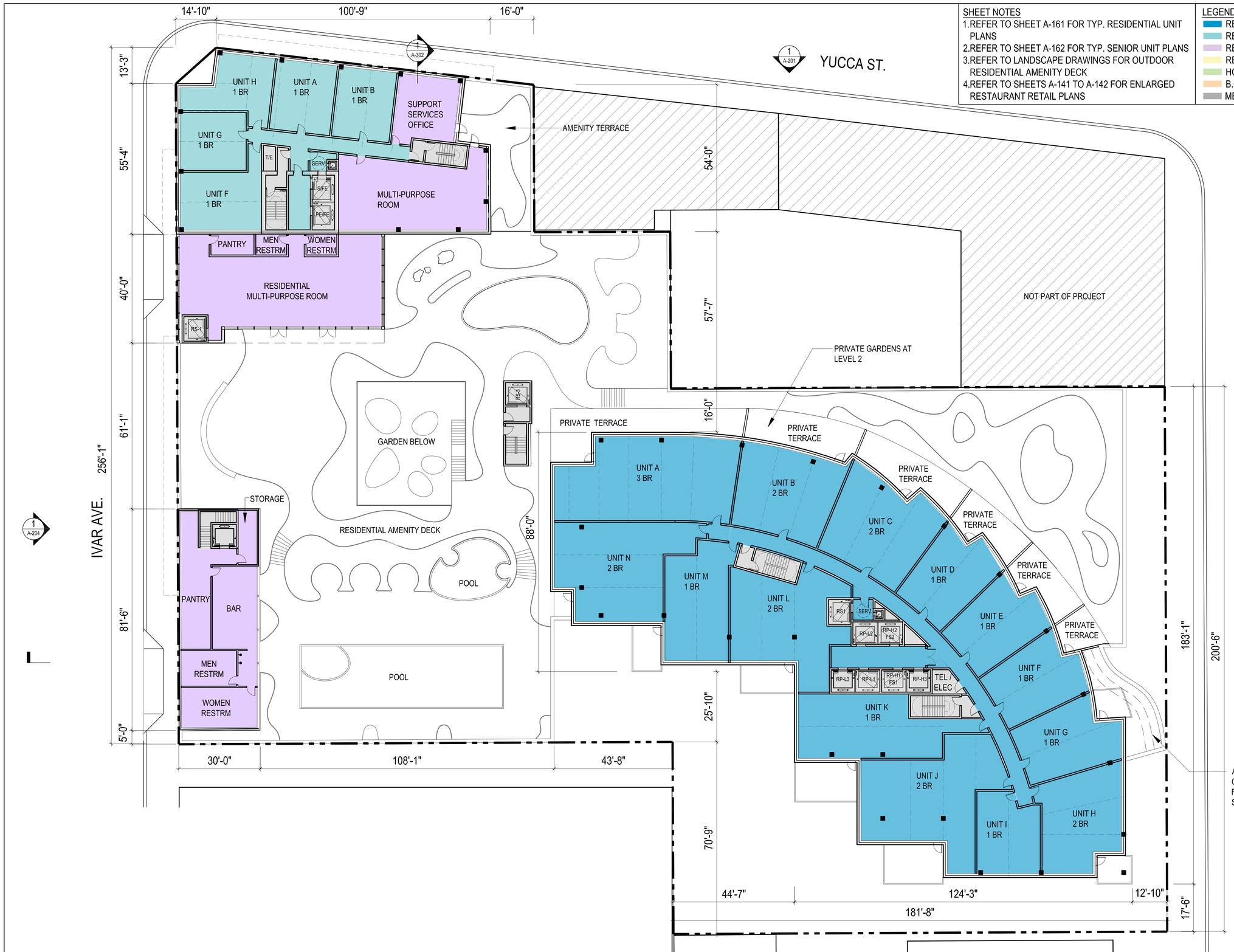
DRAWING TITLE:

WEST SITE - LEVEL 01_MEZZ (IVAR)

DRAWING NO:

A-107

© Handel Architects LLP 2018



SHEET NOTES

1. REFER TO SHEET A-161 FOR TYP. RESIDENTIAL UNIT PLANS
2. REFER TO SHEET A-162 FOR TYP. SENIOR UNIT PLANS
3. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
4. REFER TO SHEETS A-141 TO A-142 FOR ENLARGED RESTAURANT RETAIL PLANS

LEGEND

- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- HOTEL
- B.O.H/ BUILDING SERV.
- MECH./ PARKING

N 0' 5' 15' 30' 50'

SCALE: 1/16" = 1'-0"

WEST SITE - LEVEL 02

SCALE: 1/16"= 1'-0"

1

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

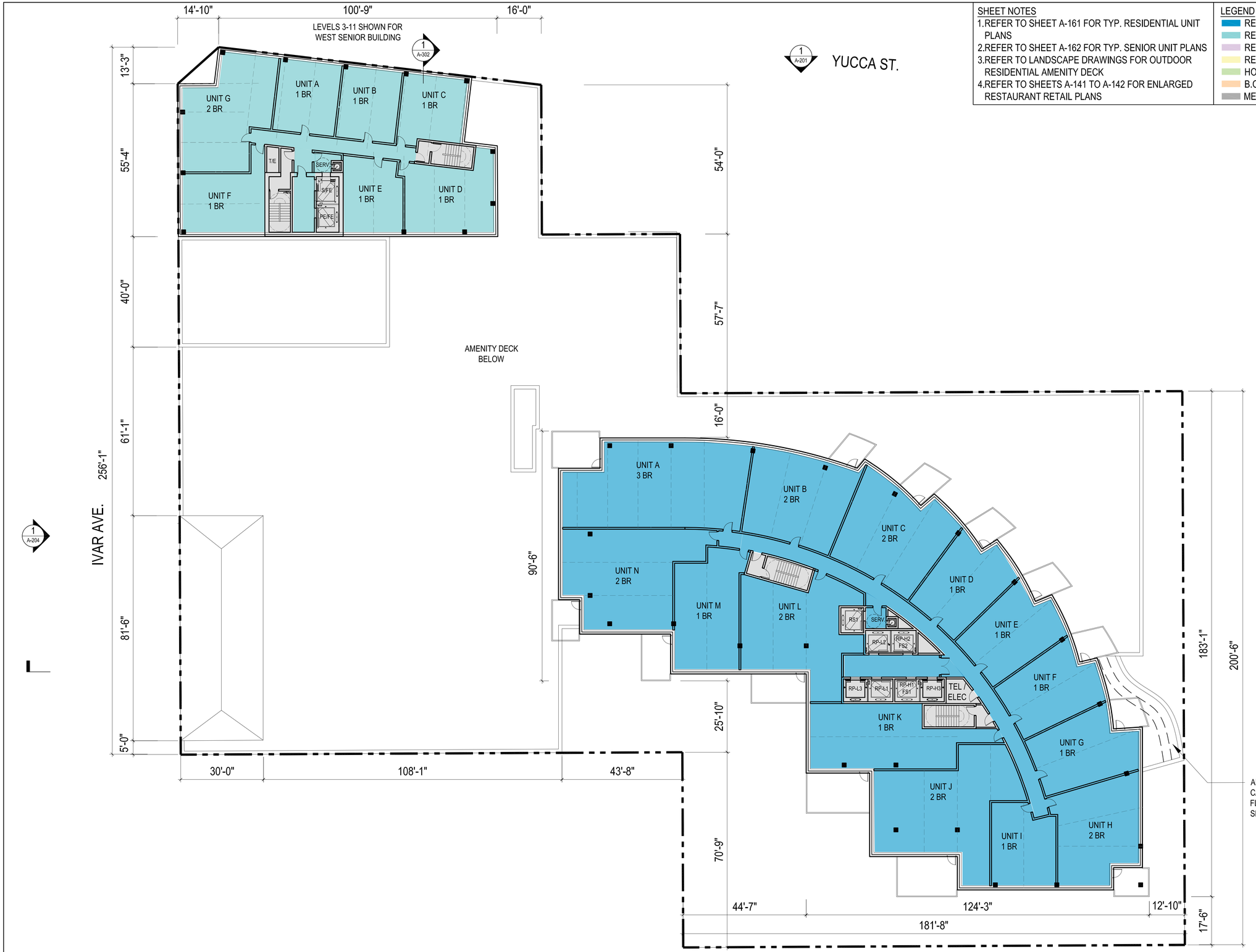
DRAWING TITLE:

WEST SITE - LEVEL 02

DRAWING NO:

A-108

© Handel Architects LLP 2018



SHEET NOTES

1. REFER TO SHEET A-161 FOR TYP. RESIDENTIAL UNIT PLANS
2. REFER TO SHEET A-162 FOR TYP. SENIOR UNIT PLANS
3. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
4. REFER TO SHEETS A-141 TO A-142 FOR ENLARGED RESTAURANT RETAIL PLANS

LEGEND

- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- HOTEL
- B.O.H/ BUILDING SERV.
- MECH./ PARKING

N 0' 5' 15' 30' 50'

SCALE: 1/16" = 1'-0"

1 A-203

WEST SITE - LEVEL 03-25

SCALE: 1/16"= 1'-0"

1

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:

WEST SITE - LEVEL 03-25

DRAWING NO:

A-109

© Handel Architects LLP 2018

SHEET NOTES
1.REFER TO SHEET A-161 FOR TYP. RESIDENTIAL UNIT PLANS
2.REFER TO SHEET A-162 FOR TYP. SENIOR UNIT PLANS
3.REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
4.REFER TO SHEETS A-141 TO A-142 FOR ENLARGED RESTAURANT RETAIL PLANS

LEGEND
- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- HOTEL
- B.O.H/ BUILDING SERV.
- MECH./ PARKING

N
0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

WEST SITE - LEVEL 26
SCALE: 1/16"= 1'-0"
1

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
WEST SITE - LEVEL 26

DRAWING NO:
A-110

© Handel Architects LLP 2018

N 0' 5' 15' 30' 50'

SCALE: 1/16" = 1'-0"

WEST SITE - LEVEL 27 - 34

SCALE: 1/16"= 1'-0"

1

SHEET NOTES
1.REFER TO SHEET A-161 FOR TYP. RESIDENTIAL UNIT PLANS
2.REFER TO SHEET A-162 FOR TYP. SENIOR UNIT PLANS
3.REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
4.REFER TO SHEETS A-141 TO A-142 FOR ENLARGED RESTAURANT RETAIL PLANS

LEGEND

- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- HOTEL
- B.O.H/ BUILDING SERV.
- MECH./ PARKING

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

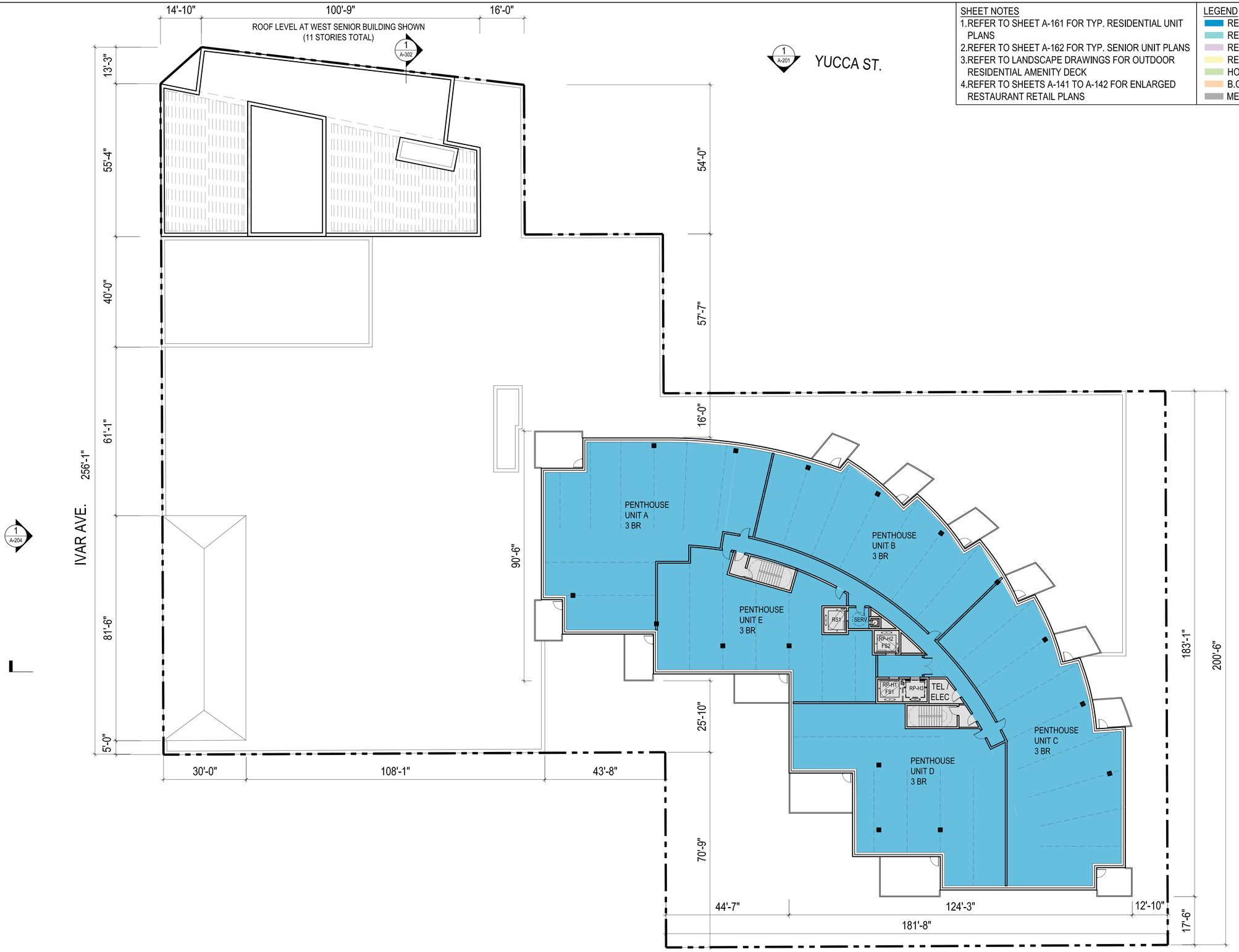
DRAWING TITLE:

WEST SITE - LEVEL 27-34

DRAWING NO:

A-111

© Handel Architects LLP 2018



SHEET NOTES
1.REFER TO SHEET A-161 FOR TYP. RESIDENTIAL UNIT PLANS
2.REFER TO SHEET A-162 FOR TYP. SENIOR UNIT PLANS
3.REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
4.REFER TO SHEETS A-141 TO A-142 FOR ENLARGED RESTAURANT RETAIL PLANS

LEGEND
- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- HOTEL
- B.O.H/ BUILDING SERV.
- MECH./ PARKING

N
0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

1
A-203

WEST SITE - LEVEL 35 PH
SCALE: 1/16"= 1'-0"

1

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

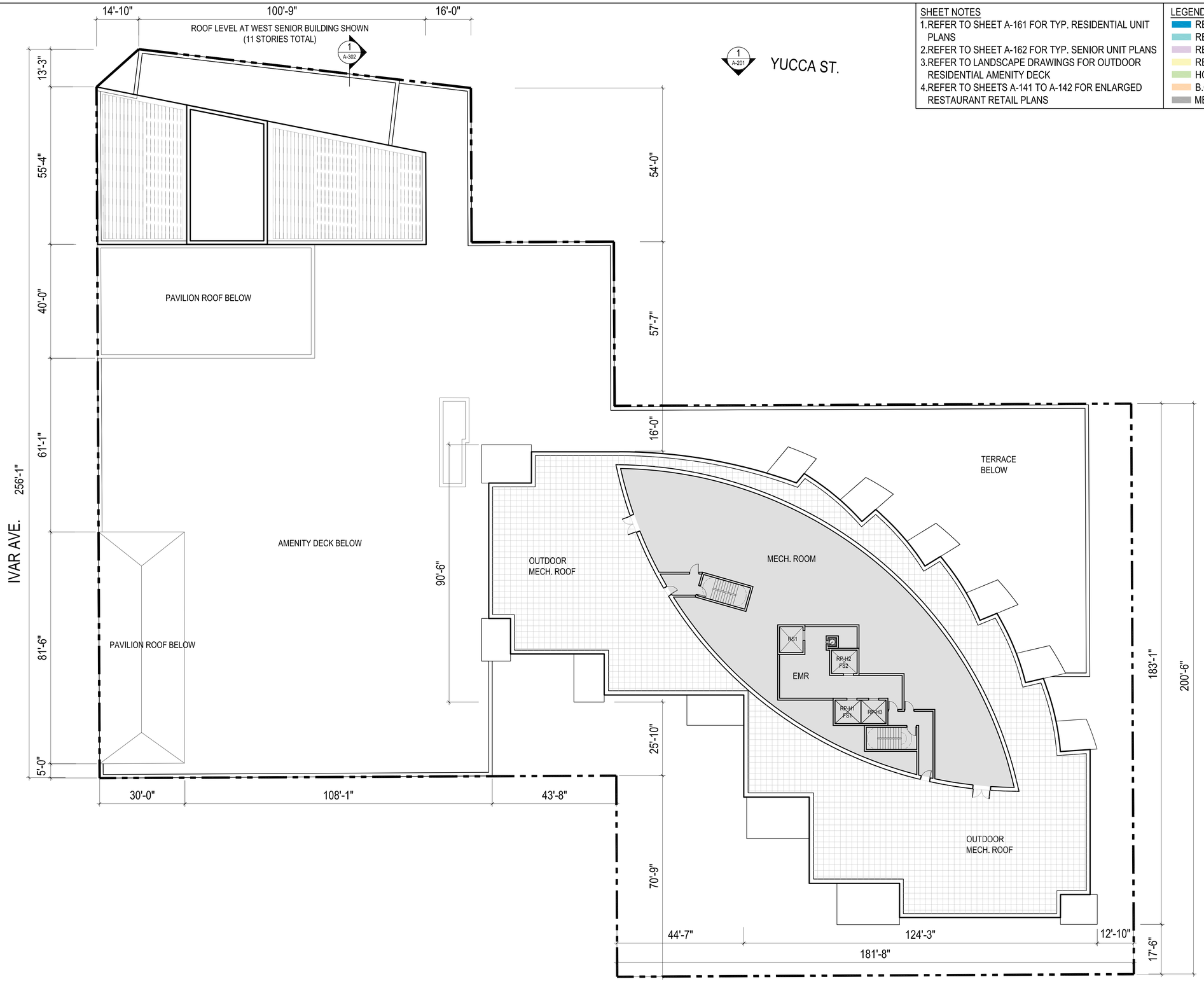
KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
WEST SITE -
LEVEL 35 PH

DRAWING NO:
A-112

© Handel Architects LLP 2018



WEST SITE - MECHANICAL PENTHOUSE

SCALE: 1/16"= 1'-0"

1

SHEET NOTES
1.REFER TO SHEET A-161 FOR TYP. RESIDENTIAL UNIT PLANS
2.REFER TO SHEET A-162 FOR TYP. SENIOR UNIT PLANS
3.REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
4.REFER TO SHEETS A-141 TO A-142 FOR ENLARGED RESTAURANT RETAIL PLANS

LEGEND
- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- HOTEL
- B.O.H/ BUILDING SERV.
- MECH./ PARKING

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

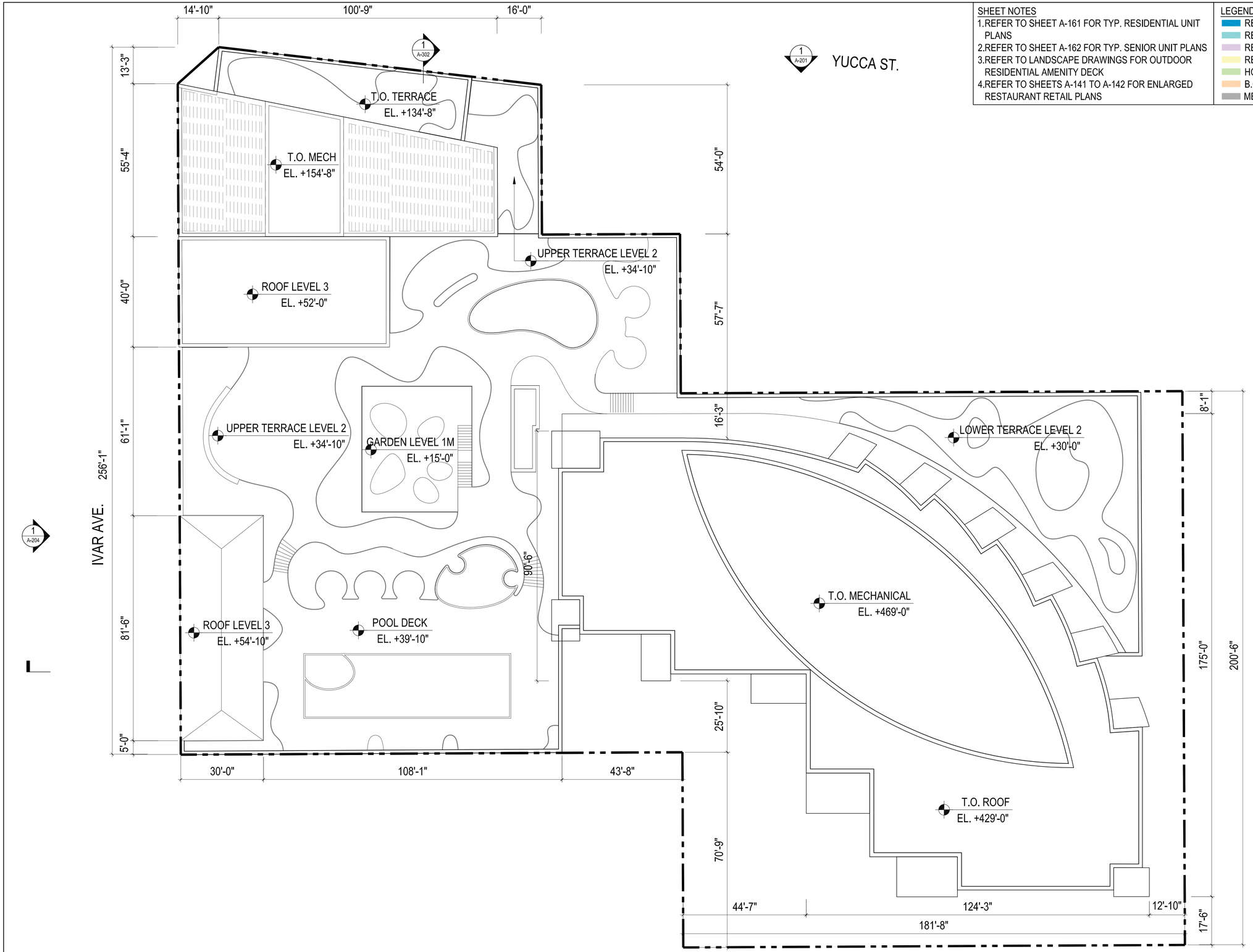
DRAWING TITLE:

WEST SITE - MECHANICAL PENTHOUSE

DRAWING NO:

A-113

© Handel Architects LLP 2018



SHEET NOTES

1. REFER TO SHEET A-161 FOR TYP. RESIDENTIAL UNIT PLANS
2. REFER TO SHEET A-162 FOR TYP. SENIOR UNIT PLANS
3. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
4. REFER TO SHEETS A-141 TO A-142 FOR ENLARGED RESTAURANT RETAIL PLANS

LEGEND

- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- HOTEL
- B.O.H/ BUILDING SERV.
- MECH./ PARKING

N 0' 5' 15' 30' 50'

SCALE: 1/16" = 1'-0"

WEST SITE - ROOF

SCALE: 1/16"= 1'-0"

1

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

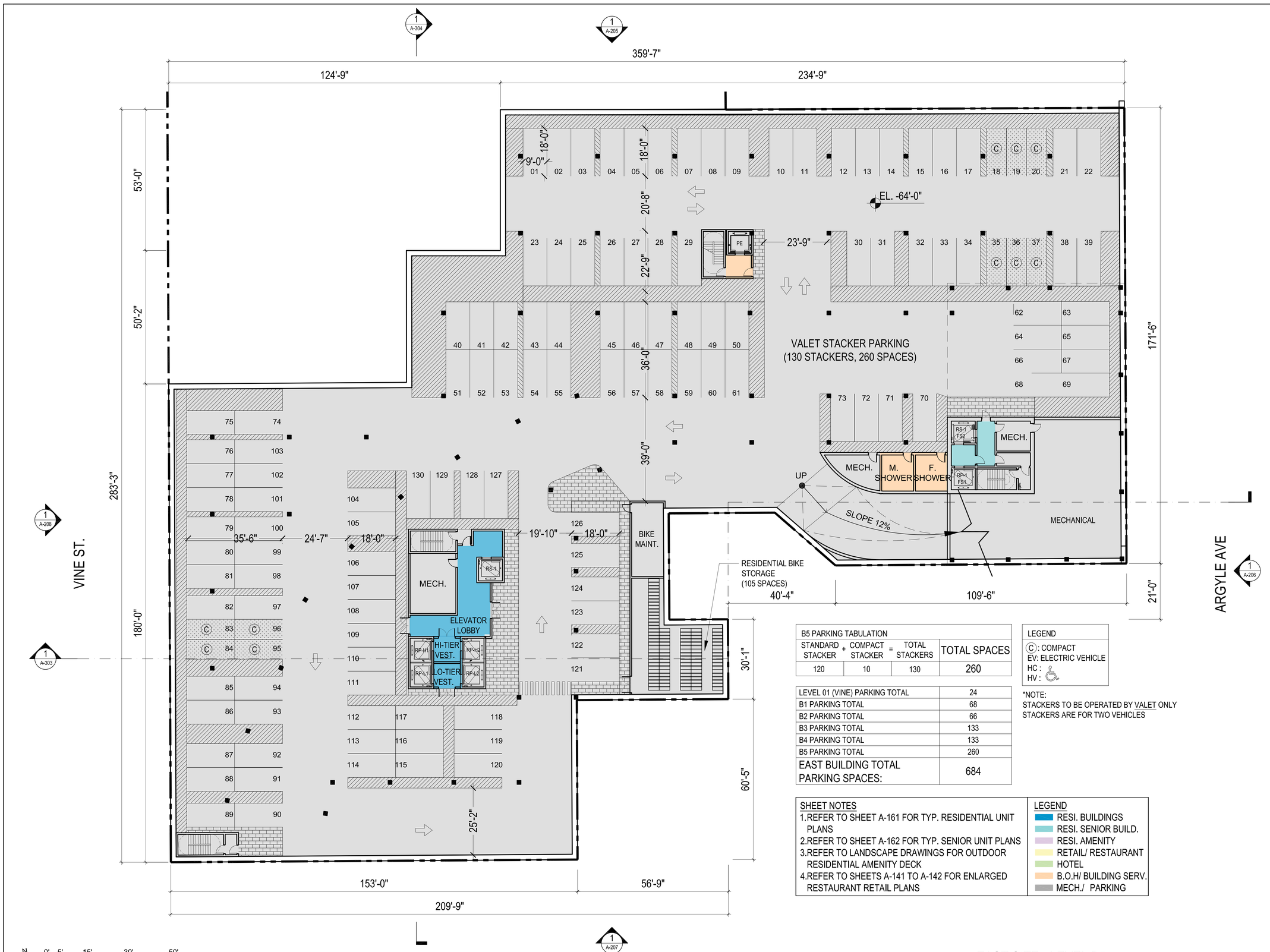
DRAWING TITLE:

WEST SITE - ROOF

DRAWING NO:

A-114

© Handel Architects LLP 2018



B5 PARKING TABULATION			
STANDARD STACKER +	COMPACT STACKER =	TOTAL STACKERS	TOTAL SPACES
120	10	130	260

LEVEL 01 (VINE) PARKING TOTAL	24
B1 PARKING TOTAL	68
B2 PARKING TOTAL	66
B3 PARKING TOTAL	133
B4 PARKING TOTAL	133
B5 PARKING TOTAL	260
EAST BUILDING TOTAL PARKING SPACES:	684

LEGEND
- Ⓒ: COMPACT
- EV: ELECTRIC VEHICLE
- HC :
- HV :

*NOTE:
STACKERS TO BE OPERATED BY VALET ONLY
STACKERS ARE FOR TWO VEHICLES

SHEET NOTES
1. REFER TO SHEET A-161 FOR TYP. RESIDENTIAL UNIT PLANS
2. REFER TO SHEET A-162 FOR TYP. SENIOR UNIT PLANS
3. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
4. REFER TO SHEETS A-141 TO A-142 FOR ENLARGED RESTAURANT RETAIL PLANS

LEGEND
- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- HOTEL
- B.O.H/ BUILDING SERV.
- MECH./ PARKING

N
0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

EAST SITE - LEVEL B5
SCALE: 1/16"= 1'-0"

1

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

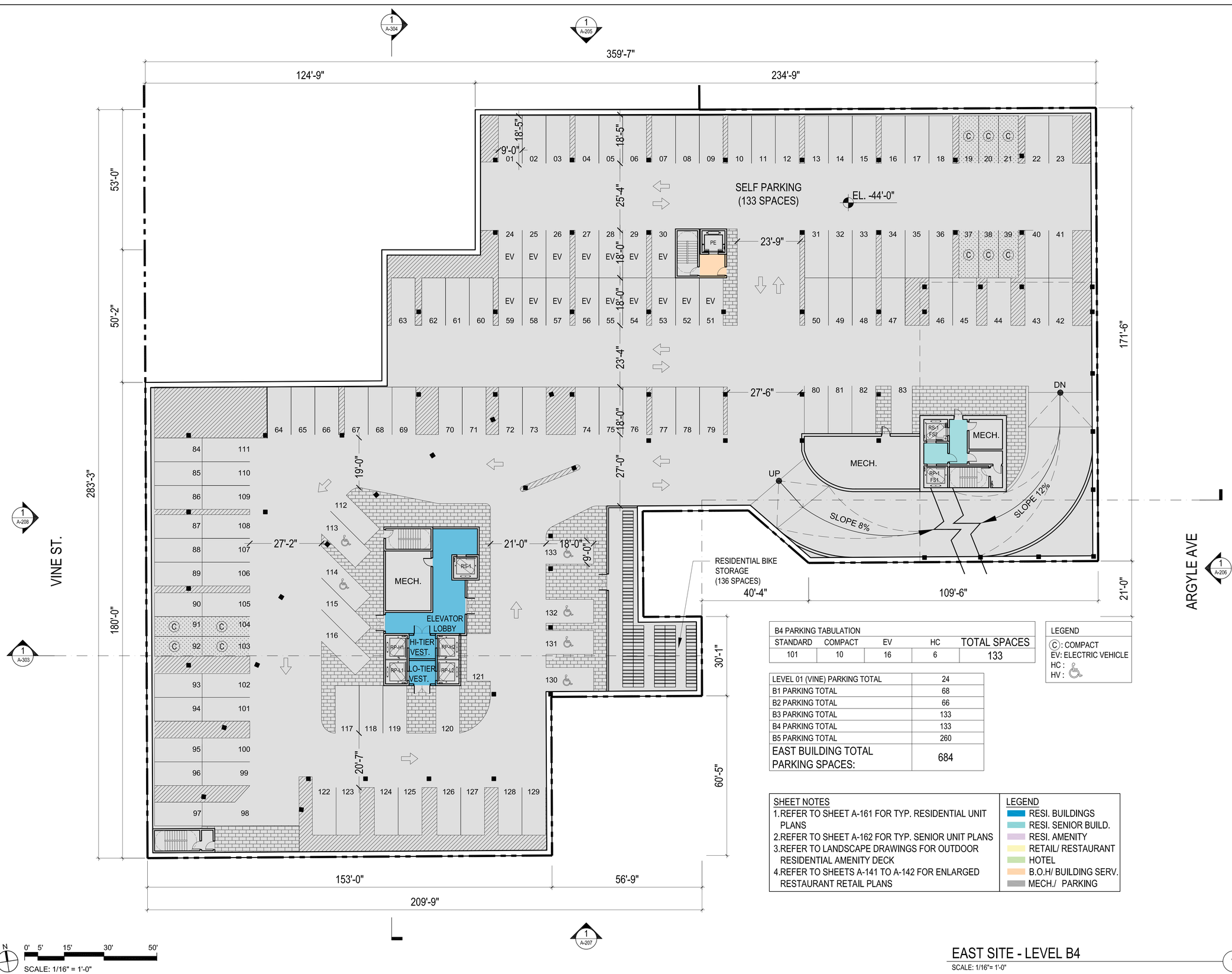
KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
EAST SITE - LEVEL B5

DRAWING NO:
A-121

© Handel Architects LLP 2018



B4 PARKING TABULATION				
STANDARD	COMPACT	EV	HC	TOTAL SPACES
101	10	16	6	133

LEVEL 01 (VINE) PARKING TOTAL	24
B1 PARKING TOTAL	68
B2 PARKING TOTAL	66
B3 PARKING TOTAL	133
B4 PARKING TOTAL	133
B5 PARKING TOTAL	260
EAST BUILDING TOTAL PARKING SPACES:	684

LEGEND
- Ⓒ : COMPACT
- EV: ELECTRIC VEHICLE
- HC :
- HV :

SHEET NOTES
1. REFER TO SHEET A-161 FOR TYP. RESIDENTIAL UNIT PLANS
2. REFER TO SHEET A-162 FOR TYP. SENIOR UNIT PLANS
3. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
4. REFER TO SHEETS A-141 TO A-142 FOR ENLARGED RESTAURANT RETAIL PLANS

LEGEND
- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- HOTEL
- B.O.H/ BUILDING SERV.
- MECH./ PARKING

N 0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

EAST SITE - LEVEL B4
SCALE: 1/16"= 1'-0"

1

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
EAST SIDE - LEVEL B4

DRAWING NO:
A-122

© Handel Architects LLP 2018

B3 PARKING TABULATION				
STANDARD	COMPACT	EV	HC	TOTAL SPACES
101	10	16	6	133

LEVEL 01 (VINE) PARKING TOTAL	24
B1 PARKING TOTAL	68
B2 PARKING TOTAL	66
B3 PARKING TOTAL	133
B4 PARKING TOTAL	133
B5 PARKING TOTAL	260
EAST BUILDING TOTAL PARKING SPACES:	684

LEGEND
- (C): COMPACT
- EV: ELECTRIC VEHICLE
- HC :
- HV :

SHEET NOTES
1. REFER TO SHEET A-161 FOR TYP. RESIDENTIAL UNIT PLANS
2. REFER TO SHEET A-162 FOR TYP. SENIOR UNIT PLANS
3. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
4. REFER TO SHEETS A-141 TO A-142 FOR ENLARGED RESTAURANT RETAIL PLANS

LEGEND
- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- HOTEL
- B.O.H/ BUILDING SERV.
- MECH./ PARKING

N
0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

EAST SITE - LEVEL B3
SCALE: 1/16"= 1'-0"
1

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

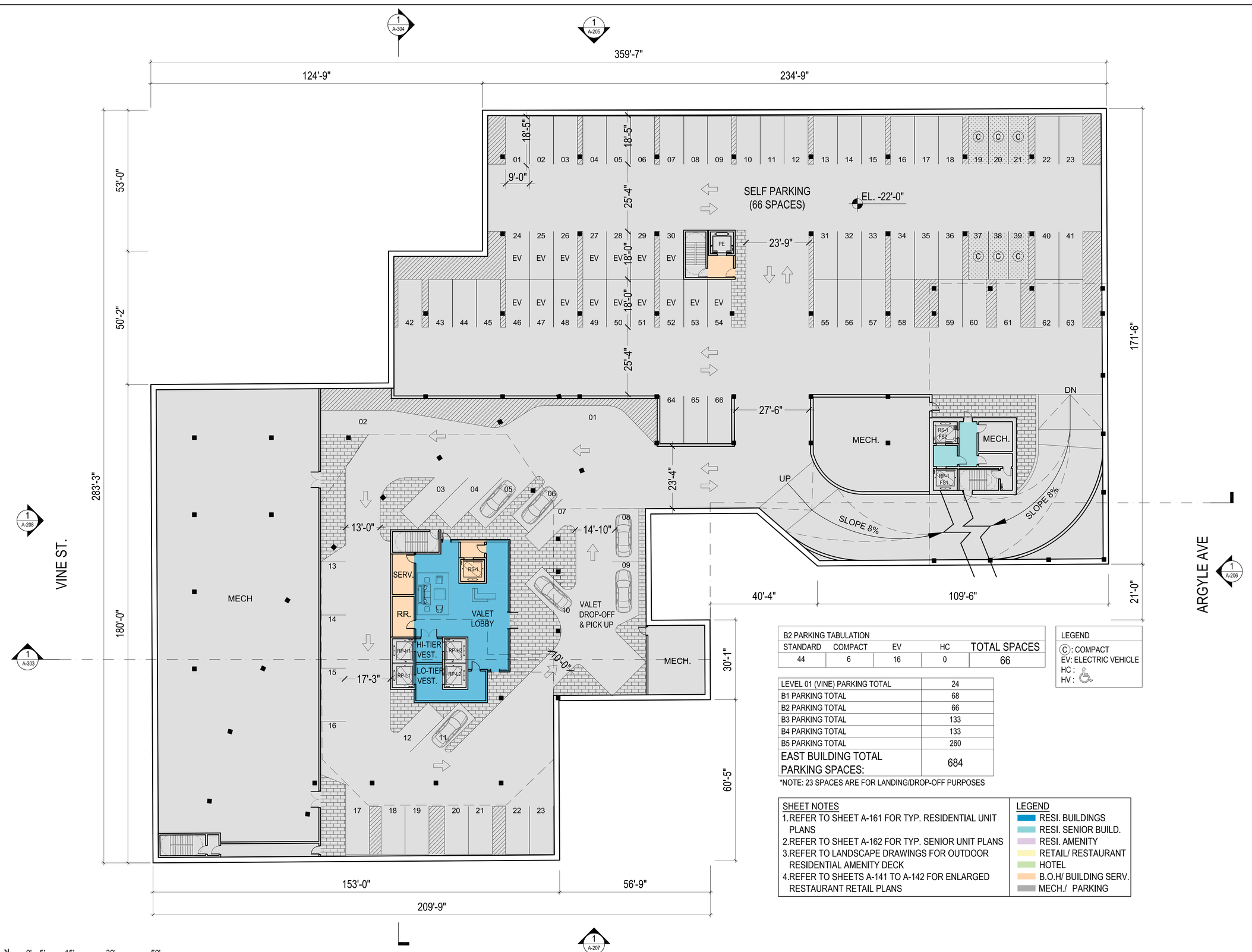
KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
EAST SIDE - LEVEL B3

DRAWING NO:
A-123

© Handel Architects LLP 2018



EAST SITE - LEVEL B2

SCALE: 1/16"= 1'-0"

1

B2 PARKING TABULATION				
STANDARD	COMPACT	EV	HC	TOTAL SPACES
44	6	16	0	66

LEVEL 01 (VINE) PARKING TOTAL	24
B1 PARKING TOTAL	68
B2 PARKING TOTAL	66
B3 PARKING TOTAL	133
B4 PARKING TOTAL	133
B5 PARKING TOTAL	260
EAST BUILDING TOTAL PARKING SPACES:	684

*NOTE: 23 SPACES ARE FOR LANDING/DROP-OFF PURPOSES

LEGEND
Ⓒ : COMPACT
EV: ELECTRIC VEHICLE
HC :
HV :

SHEET NOTES
1. REFER TO SHEET A-161 FOR TYP. RESIDENTIAL UNIT PLANS
2. REFER TO SHEET A-162 FOR TYP. SENIOR UNIT PLANS
3. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
4. REFER TO SHEETS A-141 TO A-142 FOR ENLARGED RESTAURANT RETAIL PLANS

LEGEND
- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- HOTEL
- B.O.H/ BUILDING SERV.
- MECH./ PARKING

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

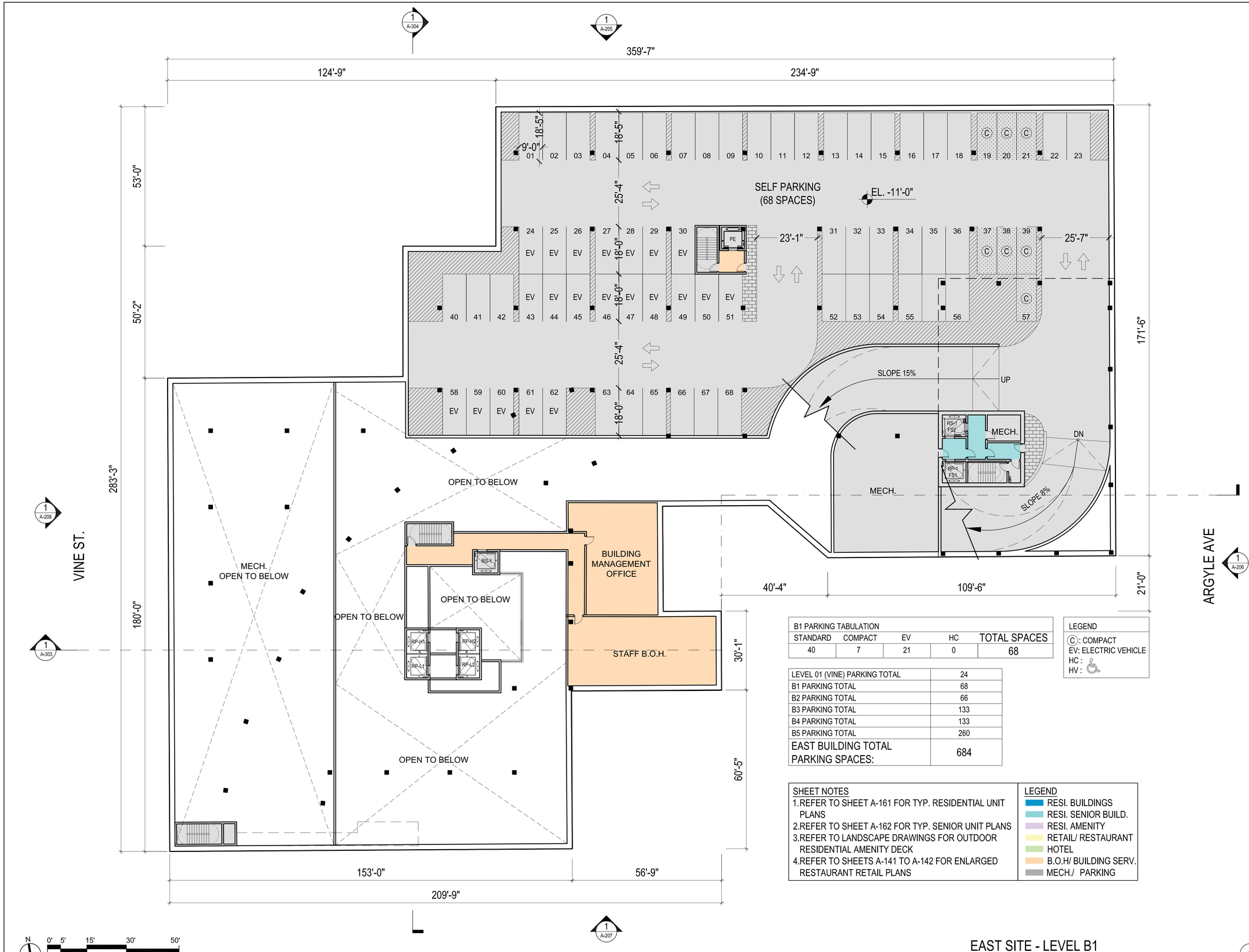
KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
EAST SITE - LEVEL B2

DRAWING NO:
A-124

© Handel Architects LLP 2018



B1 PARKING TABULATION				
STANDARD	COMPACT	EV	HC	TOTAL SPACES
40	7	21	0	68

LEVEL 01 (VINE) PARKING TOTAL	24
B1 PARKING TOTAL	68
B2 PARKING TOTAL	66
B3 PARKING TOTAL	133
B4 PARKING TOTAL	133
B5 PARKING TOTAL	260
EAST BUILDING TOTAL PARKING SPACES:	684

LEGEND
- Ⓒ : COMPACT
- EV: ELECTRIC VEHICLE
- HC :
- HV :

SHEET NOTES
1. REFER TO SHEET A-161 FOR TYP. RESIDENTIAL UNIT PLANS
2. REFER TO SHEET A-162 FOR TYP. SENIOR UNIT PLANS
3. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
4. REFER TO SHEETS A-141 TO A-142 FOR ENLARGED RESTAURANT RETAIL PLANS

LEGEND
- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- HOTEL
- B.O.H/ BUILDING SERV.
- MECH./ PARKING

N 0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

EAST SITE - LEVEL B1
SCALE: 1/16"= 1'-0"
1

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

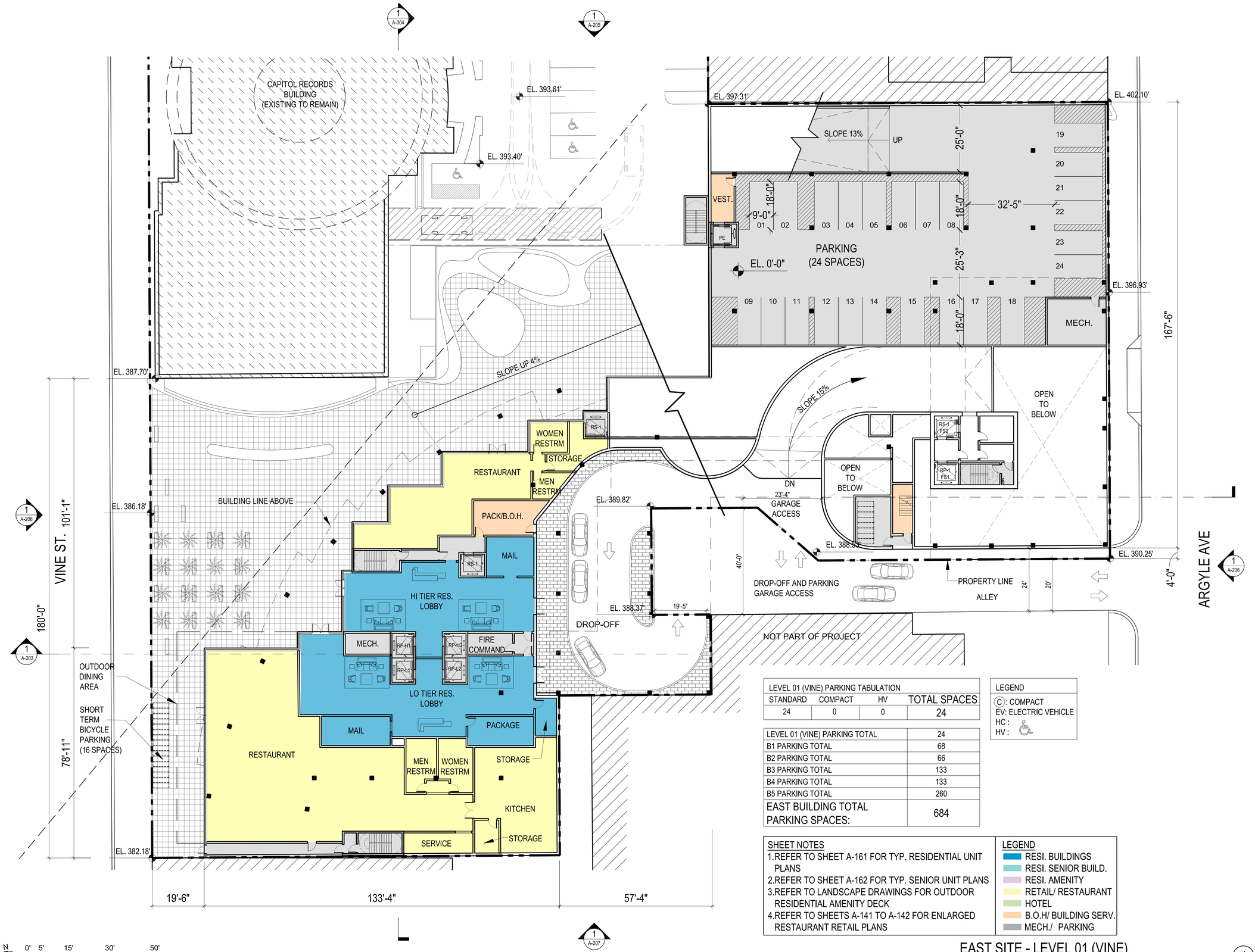
KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
EAST SITE - LEVEL B1

DRAWING NO:
A-125

© Handel Architects LLP 2018



LEVEL 01 (VINE) PARKING TABULATION			
STANDARD	COMPACT	HV	TOTAL SPACES
24	0	0	24

LEVEL 01 (VINE) PARKING TOTAL	24
B1 PARKING TOTAL	68
B2 PARKING TOTAL	66
B3 PARKING TOTAL	133
B4 PARKING TOTAL	133
B5 PARKING TOTAL	260
EAST BUILDING TOTAL PARKING SPACES:	684

LEGEND
Ⓒ : COMPACT
EV: ELECTRIC VEHICLE
HC :
HV :

SHEET NOTES
1. REFER TO SHEET A-161 FOR TYP. RESIDENTIAL UNIT PLANS
2. REFER TO SHEET A-162 FOR TYP. SENIOR UNIT PLANS
3. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
4. REFER TO SHEETS A-141 TO A-142 FOR ENLARGED RESTAURANT RETAIL PLANS

LEGEND
- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- HOTEL
- B.O.H/ BUILDING SERV.
- MECH./ PARKING

N
0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

EAST SITE - LEVEL 01 (VINE)
SCALE: 1/16"= 1'-0"

1

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
EAST SITE - LEVEL 01 (VINE)

DRAWING NO:
A-126

© Handel Architects LLP 2018

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
EAST SITE - LEVEL 01_MEZZ (ARGYLE)

DRAWING NO:
A-127

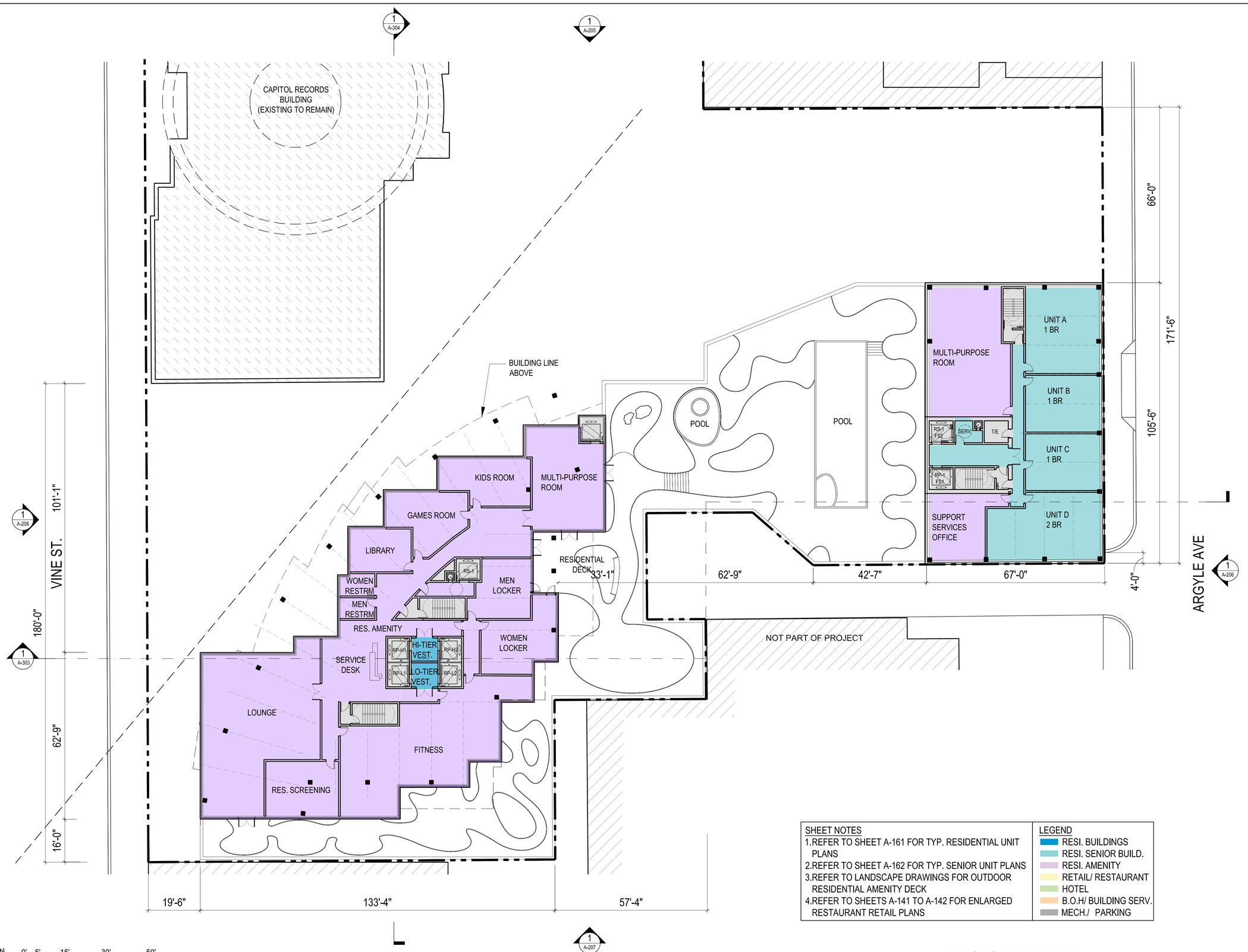
© Handel Architects LLP 2018

CAPITOL RECORDS BUILDING (EXISTING TO REMAIN)
EL. 393.61'
EL. 393.40'
EL. 387.70'
EL. 386.18'
EL. 382.18'
EL. 397.31'
EL. 402.10'
EL. 396.93'
EL. 389.82'
EL. 388.37'
EL. 390.25'
DN
VESTIBULE
SLOPE UP 4%
STORAGE CONTAINER BELOW LANDSCAPE
OUTDOOR DINING AREA
SHORT TERM BICYCLE PARKING (8 SPACES)
OUTDOOR DINING AREA
SERVICE
RESTAURANT
KITCHEN
SECURITY
WOMEN RESTRM
MEN RESTRM
STORAGE
47'-0"
23'-6"
LOADING SPACE
SERVICE ACCESS
66'-0"
167'-6"
101'-6"
RESTAURANT
RESTAURANT OPEN TO BELOW
BUILDING LINE ABOVE
SEC. STOR./B.O.H.
STORAGE
RESTAURANT
SERV.
TRASH
RR.
MAIL
B.O.H.
SENIOR AFFORDABLE LOBBY
O.T.B.
TRASH
TRASH
HI TIER RES. LOBBY OPEN TO BELOW
DROP-OFF BELOW
62'-9"
109'-7"
4'-0"
SHORT TERM BICYCLE PARKING (8 SPACES)
ALLEY
ARGYLE AVE
VINE ST.
101'-1"
180'-0"
78'-11"
SHORT TERM BICYCLE PARKING (16 SPACES)
LO TIER RES. LOBBY OPEN TO BELOW
RESTAURANT OPEN TO BELOW
RESTROOMS OPEN TO BELOW
KITCHEN OPEN TO BELOW
SERVICE OPEN TO BELOW
19'-6"
133'-4"
57'-4"
RS-1
RS-1 FS2
RP-1 FS1
RP-H1
RP-H2
RP-L1
RP-L2
1 A-304
1 A-205
1 A-208
1 A-303
1 A-207
1 A-206

SHEET NOTES	LEGEND
1. REFER TO SHEET A-161 FOR TYP. RESIDENTIAL UNIT PLANS	RESI. BUILDINGS
2. REFER TO SHEET A-162 FOR TYP. SENIOR UNIT PLANS	RESI. SENIOR BUILD.
3. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK	RESI. AMENITY
4. REFER TO SHEETS A-141 TO A-142 FOR ENLARGED RESTAURANT RETAIL PLANS	RETAIL/ RESTAURANT
	HOTEL
	B.O.H/ BUILDING SERV.
	MECH./ PARKING

N
0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

EAST SITE - LEVEL 01_MEZZ (ARGYLE AVE) 1
SCALE: 1/16"= 1'-0"



SHEET NOTES	LEGEND
1.REFER TO SHEET A-161 FOR TYP. RESIDENTIAL UNIT PLANS	RESI. BUILDINGS
2.REFER TO SHEET A-162 FOR TYP. SENIOR UNIT PLANS	RESI. SENIOR BUILD.
3.REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK	RESI. AMENITY
4.REFER TO SHEETS A-141 TO A-142 FOR ENLARGED RESTAURANT RETAIL PLANS	RETAIL/ RESTAURANT
	HOTEL
	B.O.H/ BUILDING SERV.
	MECH./ PARKING

N 0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

EAST SITE - LEVEL 02
SCALE: 1/16"= 1'-0"

1

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

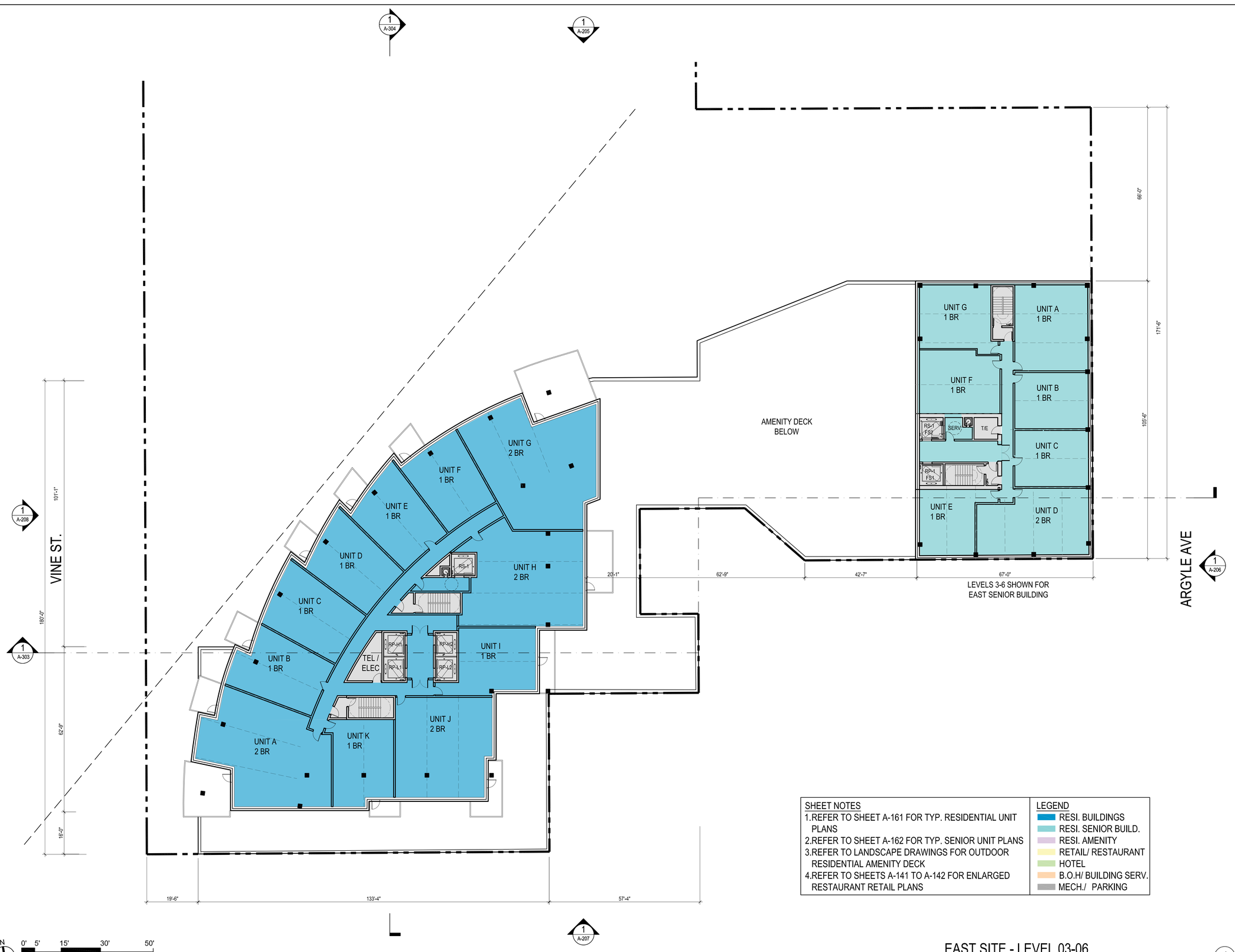
KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
EAST SITE - LEVEL 02

DRAWING NO:
A-128

© Handel Architects LLP 2018



SHEET NOTES	LEGEND
1.REFER TO SHEET A-161 FOR TYP. RESIDENTIAL UNIT PLANS	RESI. BUILDINGS
2.REFER TO SHEET A-162 FOR TYP. SENIOR UNIT PLANS	RESI. SENIOR BUILD.
3.REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK	RESI. AMENITY
4.REFER TO SHEETS A-141 TO A-142 FOR ENLARGED RESTAURANT RETAIL PLANS	RETAIL/ RESTAURANT
	HOTEL
	B.O.H/ BUILDING SERV.
	MECH./ PARKING

N 0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

EAST SITE - LEVEL 03-06
SCALE: 1/16"= 1'-0"
1

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

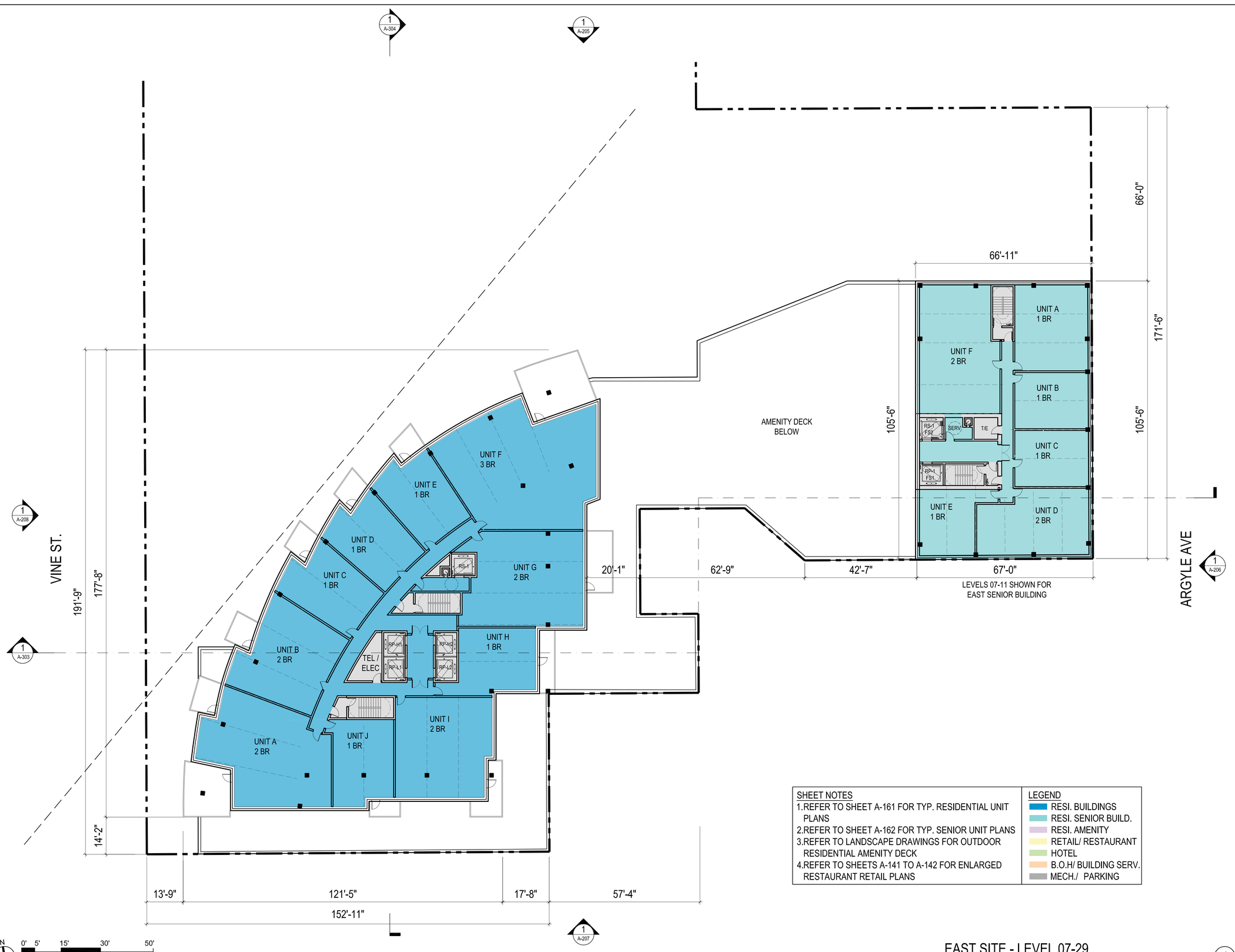
DRAWING TITLE:

EAST SITE - LEVEL 03-06

DRAWING NO:

A-129

© Handel Architects LLP 2018



SHEET NOTES	LEGEND
1. REFER TO SHEET A-161 FOR TYP. RESIDENTIAL UNIT PLANS	RESI. BUILDINGS
2. REFER TO SHEET A-162 FOR TYP. SENIOR UNIT PLANS	RESI. SENIOR BUILD.
3. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK	RESI. AMENITY
4. REFER TO SHEETS A-141 TO A-142 FOR ENLARGED RESTAURANT RETAIL PLANS	RETAIL/ RESTAURANT
	HOTEL
	B.O.H/ BUILDING SERV.
	MECH./ PARKING

EAST SITE - LEVEL 07-29

SCALE: 1/16"= 1'-0"

1

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

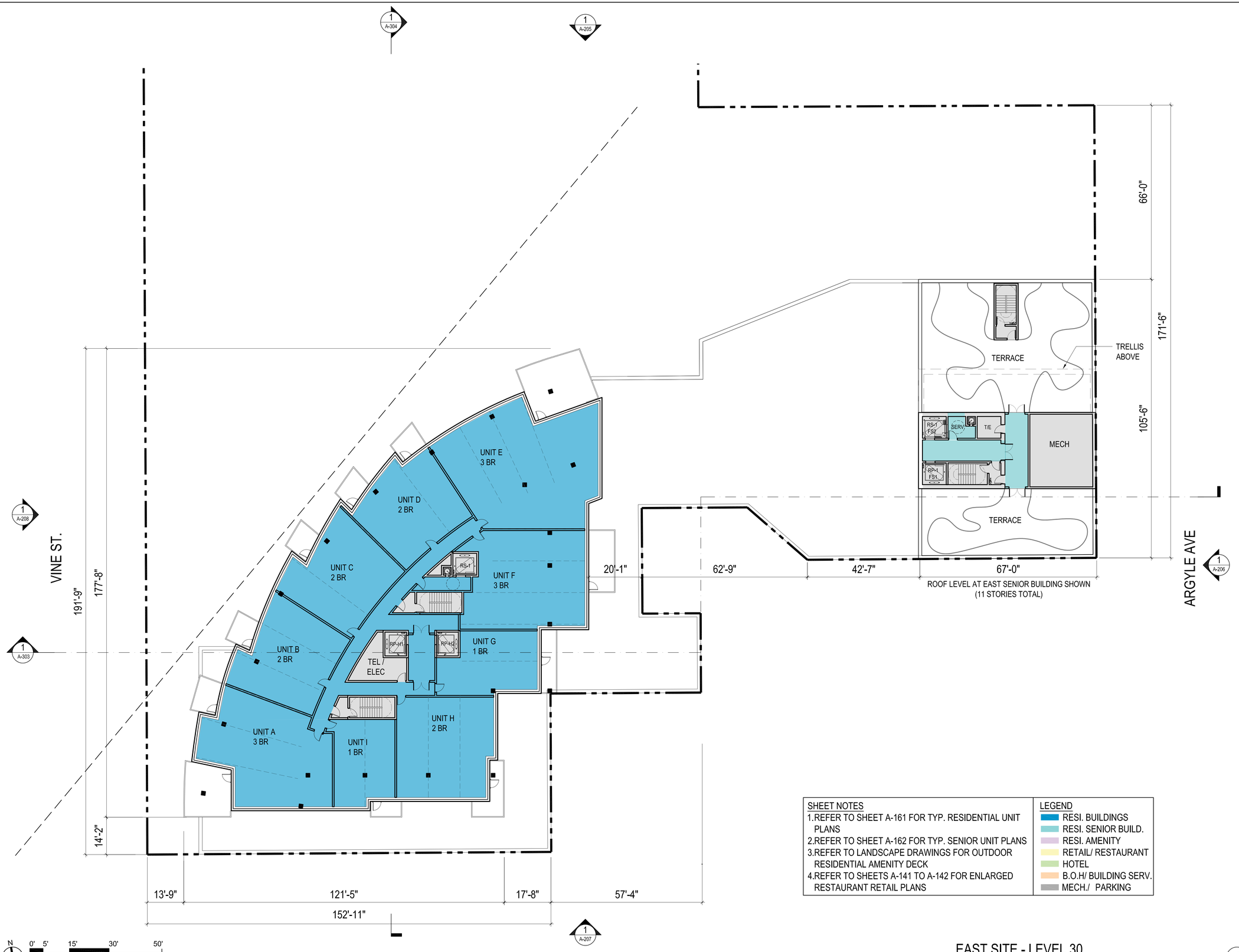
DRAWING TITLE:

EAST SITE - LEVEL 07-29

DRAWING NO:

A-130

© Handel Architects LLP 2018



SHEET NOTES	LEGEND
1.REFER TO SHEET A-161 FOR TYP. RESIDENTIAL UNIT PLANS	RESI. BUILDINGS
2.REFER TO SHEET A-162 FOR TYP. SENIOR UNIT PLANS	RESI. SENIOR BUILD.
3.REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK	RESI. AMENITY
4.REFER TO SHEETS A-141 TO A-142 FOR ENLARGED RESTAURANT RETAIL PLANS	RETAIL/ RESTAURANT
	HOTEL
	B.O.H/ BUILDING SERV.
	MECH./ PARKING

EAST SITE - LEVEL 30

SCALE: 1/16"= 1'-0"

1

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

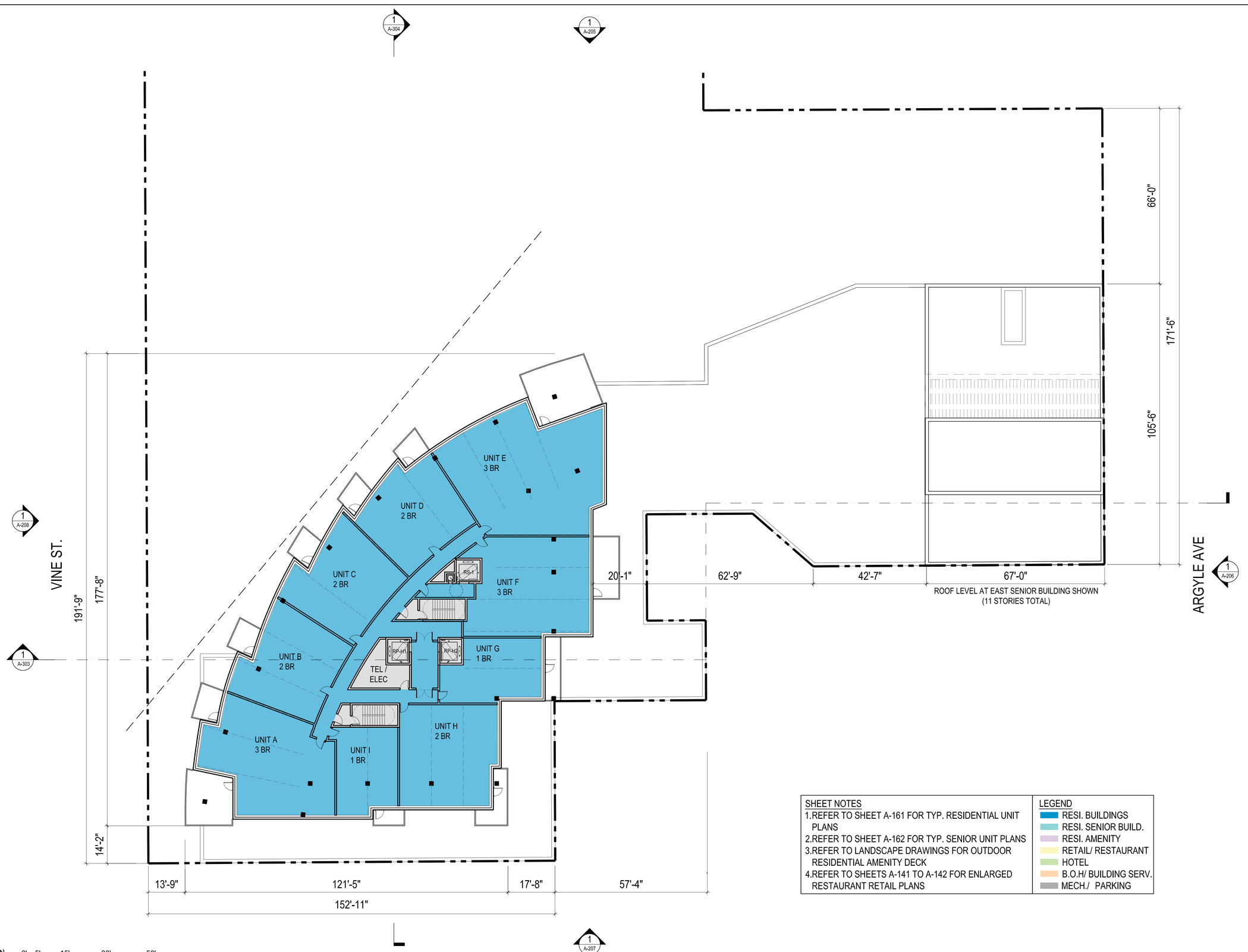
DRAWING TITLE:

EAST SITE - LEVEL 30

DRAWING NO:

A-131

© Handel Architects LLP 2018



SHEET NOTES	LEGEND
1.REFER TO SHEET A-161 FOR TYP. RESIDENTIAL UNIT PLANS	RESI. BUILDINGS
2.REFER TO SHEET A-162 FOR TYP. SENIOR UNIT PLANS	RESI. SENIOR BUILD.
3.REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK	RESI. AMENITY
4.REFER TO SHEETS A-141 TO A-142 FOR ENLARGED RESTAURANT RETAIL PLANS	RETAIL/ RESTAURANT
	HOTEL
	B.O.H/ BUILDING SERV.
	MECH./ PARKING

EAST SITE - LEVEL 31-45 (1)
SCALE: 1/16"= 1'-0"

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

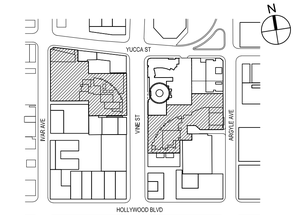
ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

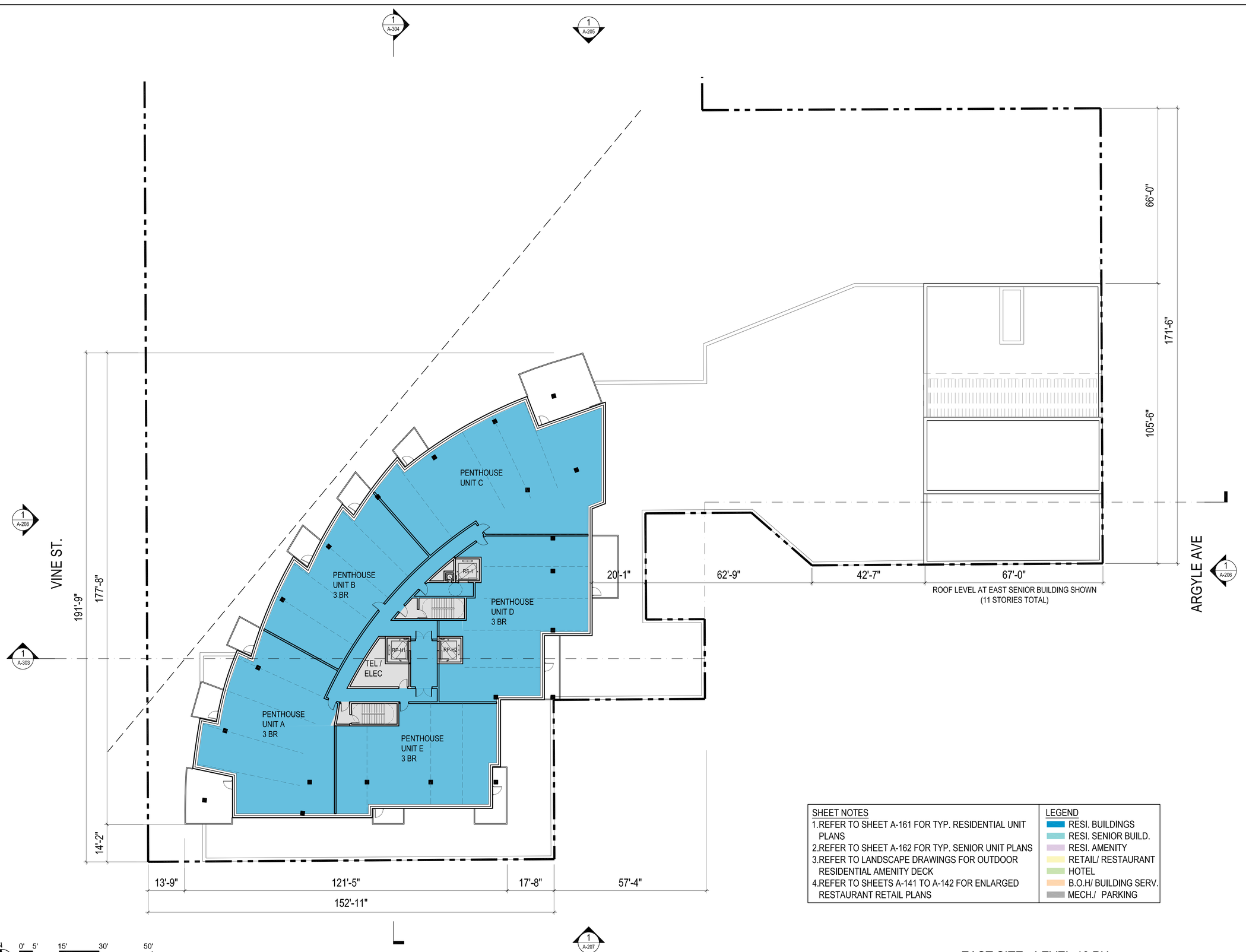


SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
EAST SITE - LEVEL 31-45

DRAWING NO:
A-132

© Handel Architects LLP 2018



SHEET NOTES	LEGEND
1. REFER TO SHEET A-161 FOR TYP. RESIDENTIAL UNIT PLANS	RESI. BUILDINGS
2. REFER TO SHEET A-162 FOR TYP. SENIOR UNIT PLANS	RESI. SENIOR BUILD.
3. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK	RESI. AMENITY
4. REFER TO SHEETS A-141 TO A-142 FOR ENLARGED RESTAURANT RETAIL PLANS	RETAIL/ RESTAURANT
	HOTEL
	B.O.H/ BUILDING SERV.
	MECH./ PARKING

EAST SITE - LEVEL 46 PH

SCALE: 1/16"= 1'-0"

1

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

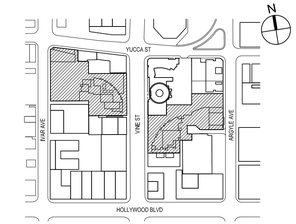
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

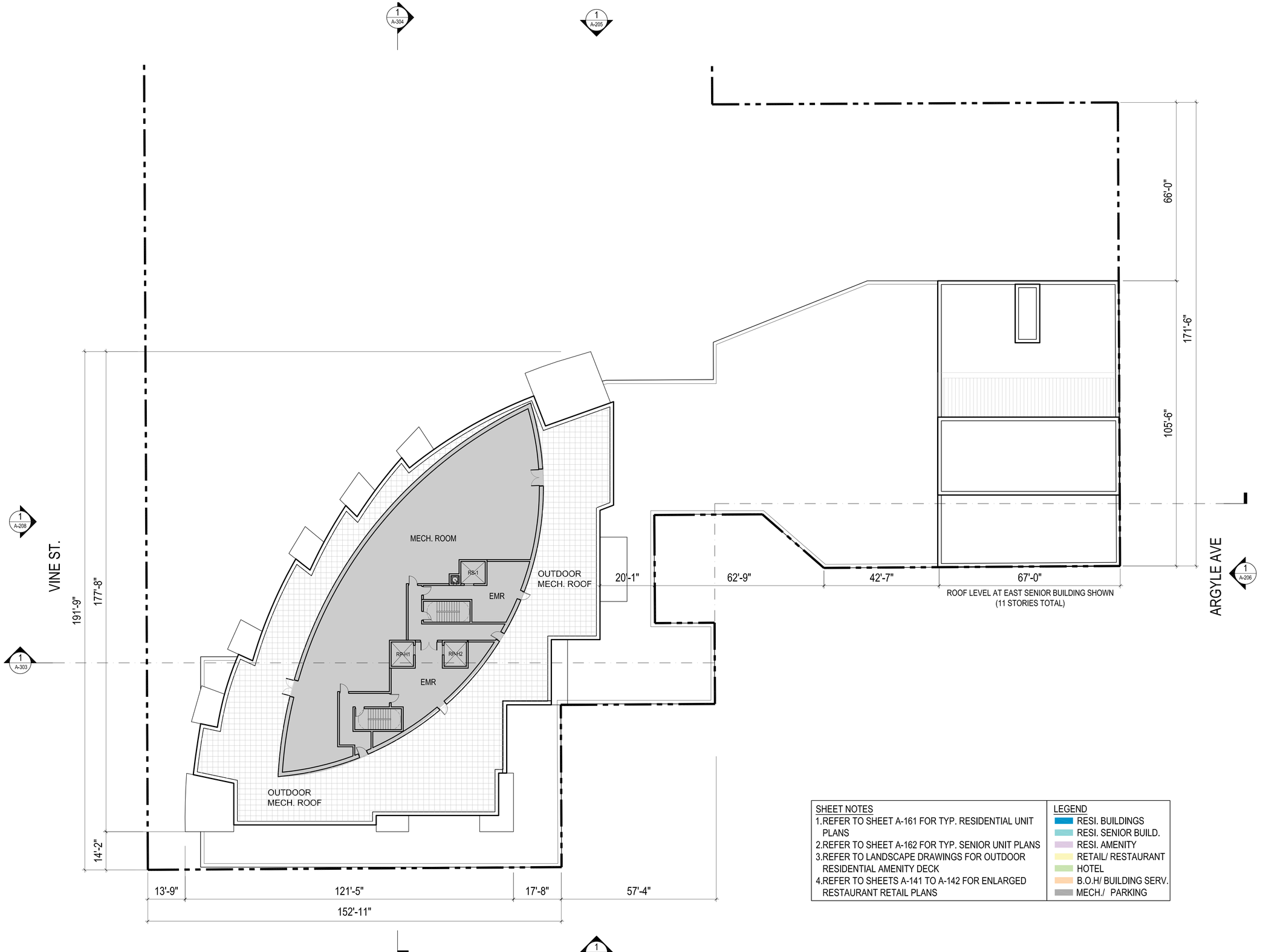
DRAWING TITLE:

EAST SITE - LEVEL 46 PH

DRAWING NO:

A-133

© Handel Architects LLP 2018



SHEET NOTES	LEGEND
1.REFER TO SHEET A-161 FOR TYP. RESIDENTIAL UNIT PLANS	RESI. BUILDINGS
2.REFER TO SHEET A-162 FOR TYP. SENIOR UNIT PLANS	RESI. SENIOR BUILD.
3.REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK	RESI. AMENITY
4.REFER TO SHEETS A-141 TO A-142 FOR ENLARGED RESTAURANT RETAIL PLANS	RETAIL/ RESTAURANT
	HOTEL
	B.O.H/ BUILDING SERV.
	MECH./ PARKING

EAST SITE - MECHANICAL PENTHOUSE

SCALE: 1/16"= 1'-0"

1

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

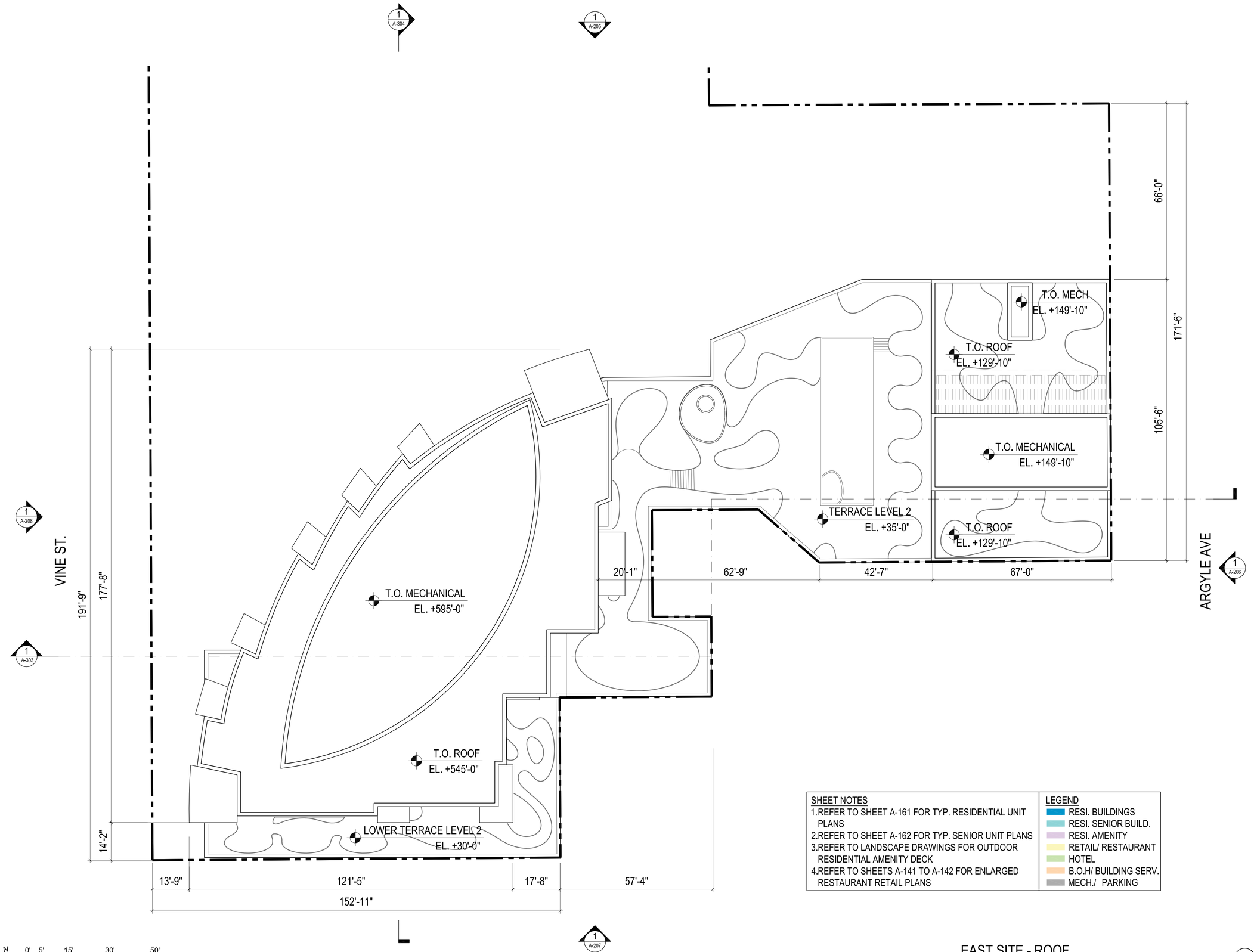
DRAWING TITLE:

EAST SITE - MECHANICAL PENTHOUSE

DRAWING NO:

A-134

© Handel Architects LLP 2018



SHEET NOTES	LEGEND
1.REFER TO SHEET A-161 FOR TYP. RESIDENTIAL UNIT PLANS	RESI. BUILDINGS
2.REFER TO SHEET A-162 FOR TYP. SENIOR UNIT PLANS	RESI. SENIOR BUILD.
3.REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK	RESI. AMENITY
4.REFER TO SHEETS A-141 TO A-142 FOR ENLARGED RESTAURANT RETAIL PLANS	RETAIL/ RESTAURANT
	HOTEL
	B.O.H/ BUILDING SERV.
	MECH./ PARKING

EAST SITE - ROOF

SCALE: 1/16"= 1'-0"

1

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

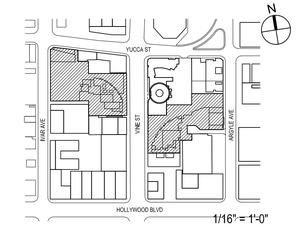
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN



1/16" = 1'-0"

SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

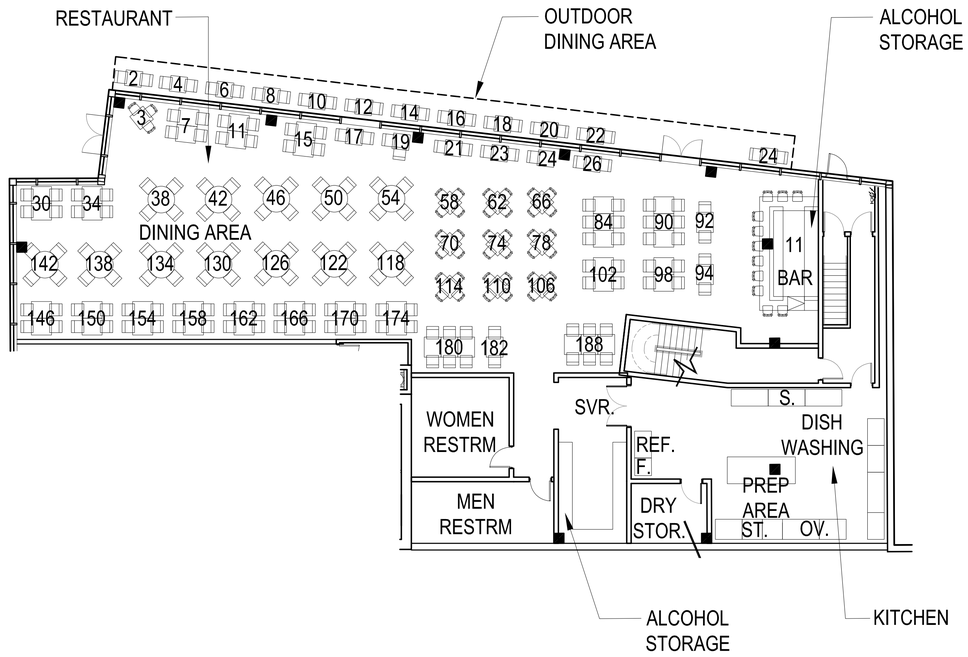
EAST SITE - ROOF

DRAWING NO:

A-135

© Handel Architects LLP 2018

PROGRAM AREA	RESTAURANT 1	RESTAURANT 2	RESTAURANT 3
INDOOR DINING AREA	1985 SF	2072 SF	3447 SF
OUTDOOR AREA	260 SF	136 SF	223 SF
TOTAL INDOOR AREA	3628 SF	2821 SF	5498 SF
INDOOR SEATING	120	108	199
OUTDOOR SEATING	38	18	24
TOTAL SEATING	158	126	223

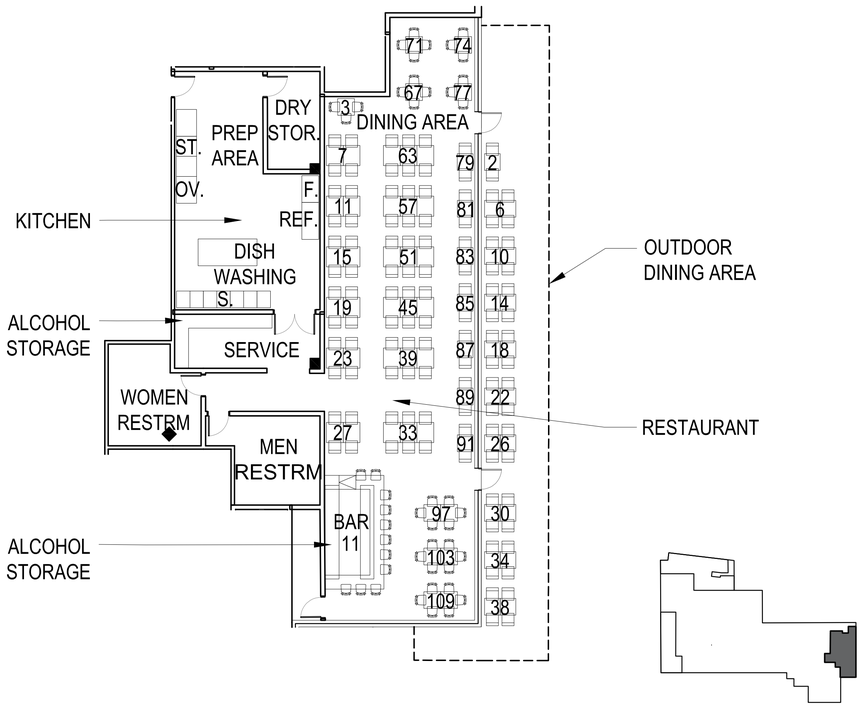


ENLARGED PLAN_RESTAURANT 3 AT WEST SITE — 3

SCALE: 3/32"= 1'-0"

ENLARGED PLAN_RESTAURANT 2 AT WEST SITE — 2

SCALE: 3/32"= 1'-0"



ENLARGED PLAN_RESTAURANT 1 AT WEST SITE — 1

SCALE: 3/32"= 1'-0"

N

0' 4' 8' 16' 32'

SCALE: 3/32" = 1'-0"

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:

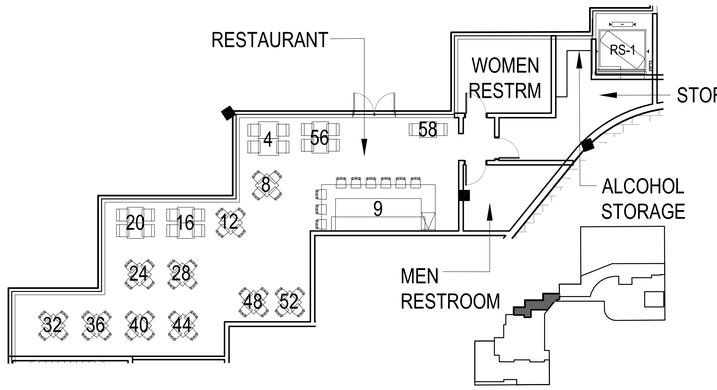
WEST SITE - ENLARGED RETAIL PLANS

DRAWING NO:

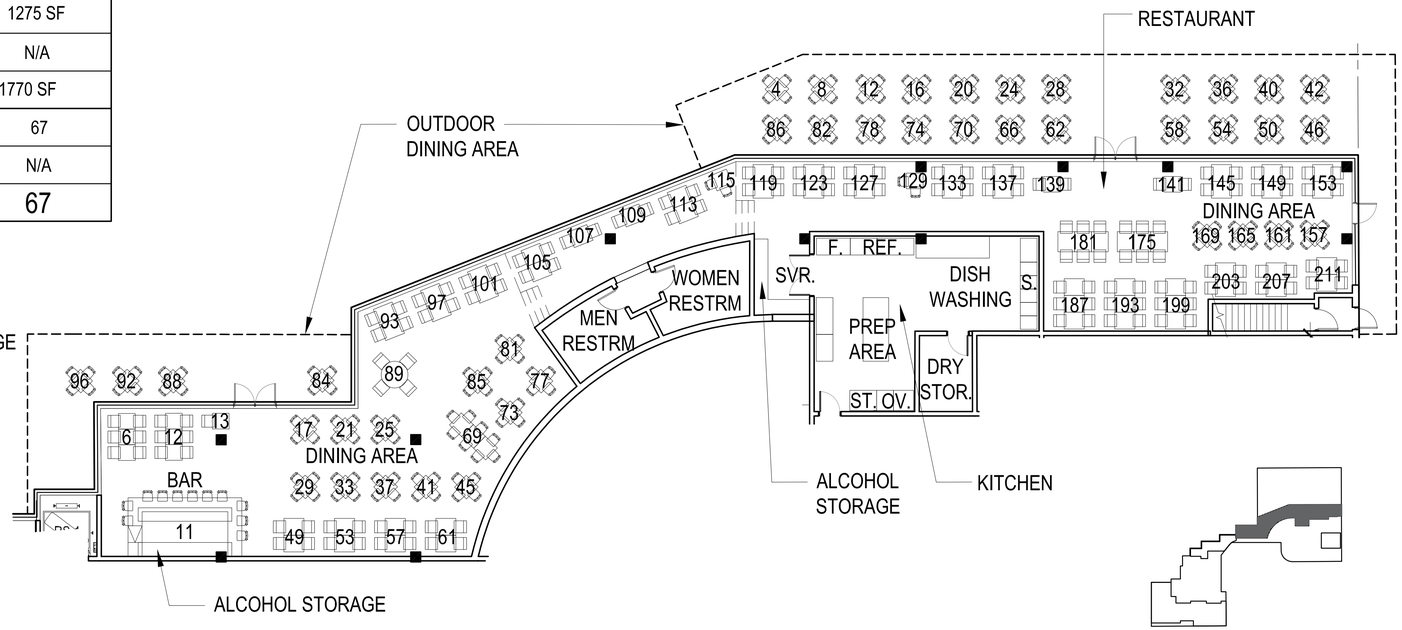
A-141

© Handel Architects LLP 2018

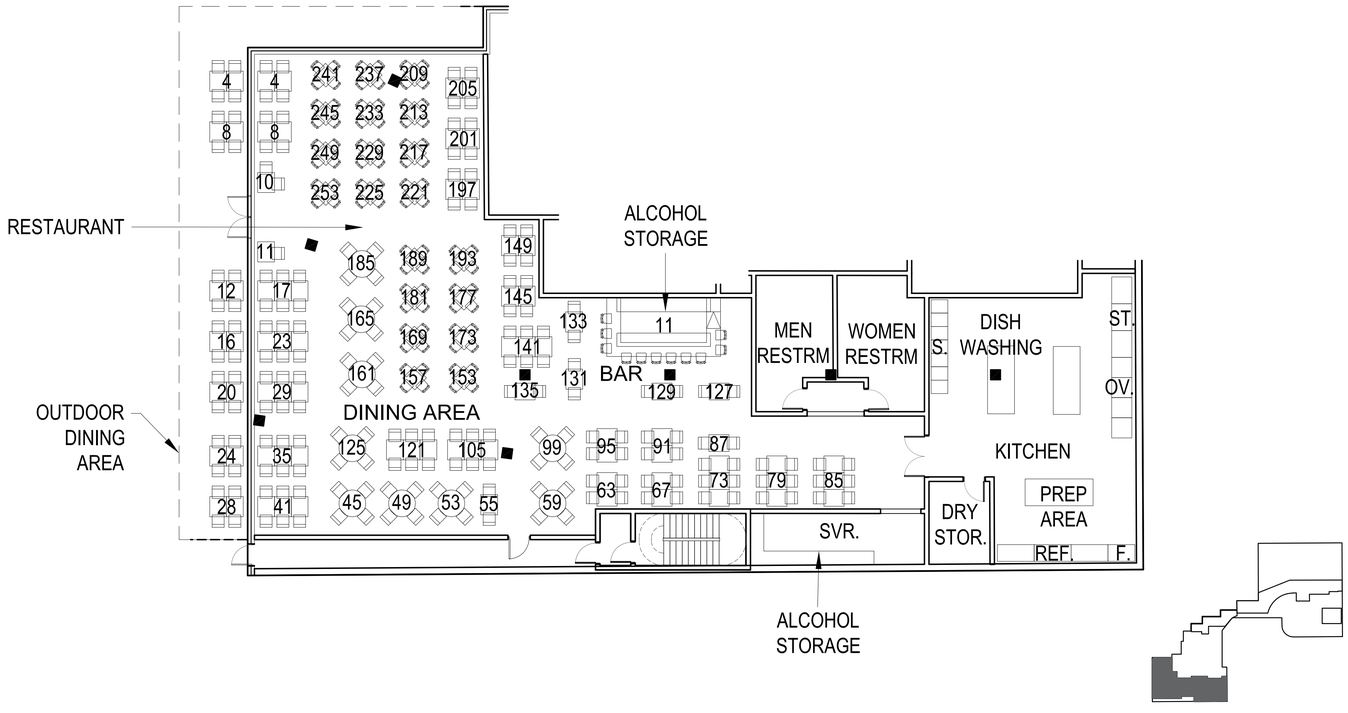
PROGRAM AREA	RESTAURANT 1	RESTAURANT 2	RESTAURANT 3	RESTAURANT 4
INDOOR DINING AREA	756 SF	4215 SF	3536 SF	1275 SF
OUTDOOR AREA	N/A	390 SF	223 SF	N/A
TOTAL INDOOR AREA	940 SF	6305 SF	4995 SF	1770 SF
INDOOR SEATING	44	264	222	67
OUTDOOR SEATING	4	28	96	N/A
TOTAL SEATING	48	292	318	67



ENLARGED PLAN_RESTAURANT 4 AT EAST SITE (4)
SCALE: 3/32"= 1'-0"

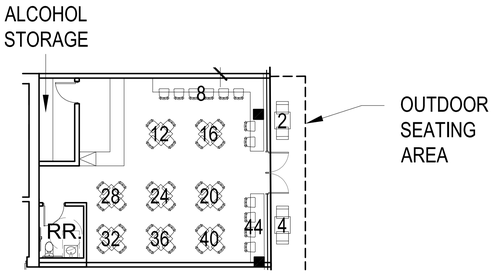


ENLARGED PLAN_RESTAURANT 3 AT EAST SITE (3)
SCALE: 3/32"= 1'-0"



N 0' 4' 8' 16' 32'
SCALE: 3/32" = 1'-0"

ENLARGED PLAN_RESTAURANT 2 AT EAST SITE (2)
SCALE: 3/32"= 1'-0"



ENLARGED PLAN_RESTAURANT 1 AT EAST SITE (1)
SCALE: 3/32"= 1'-0"

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

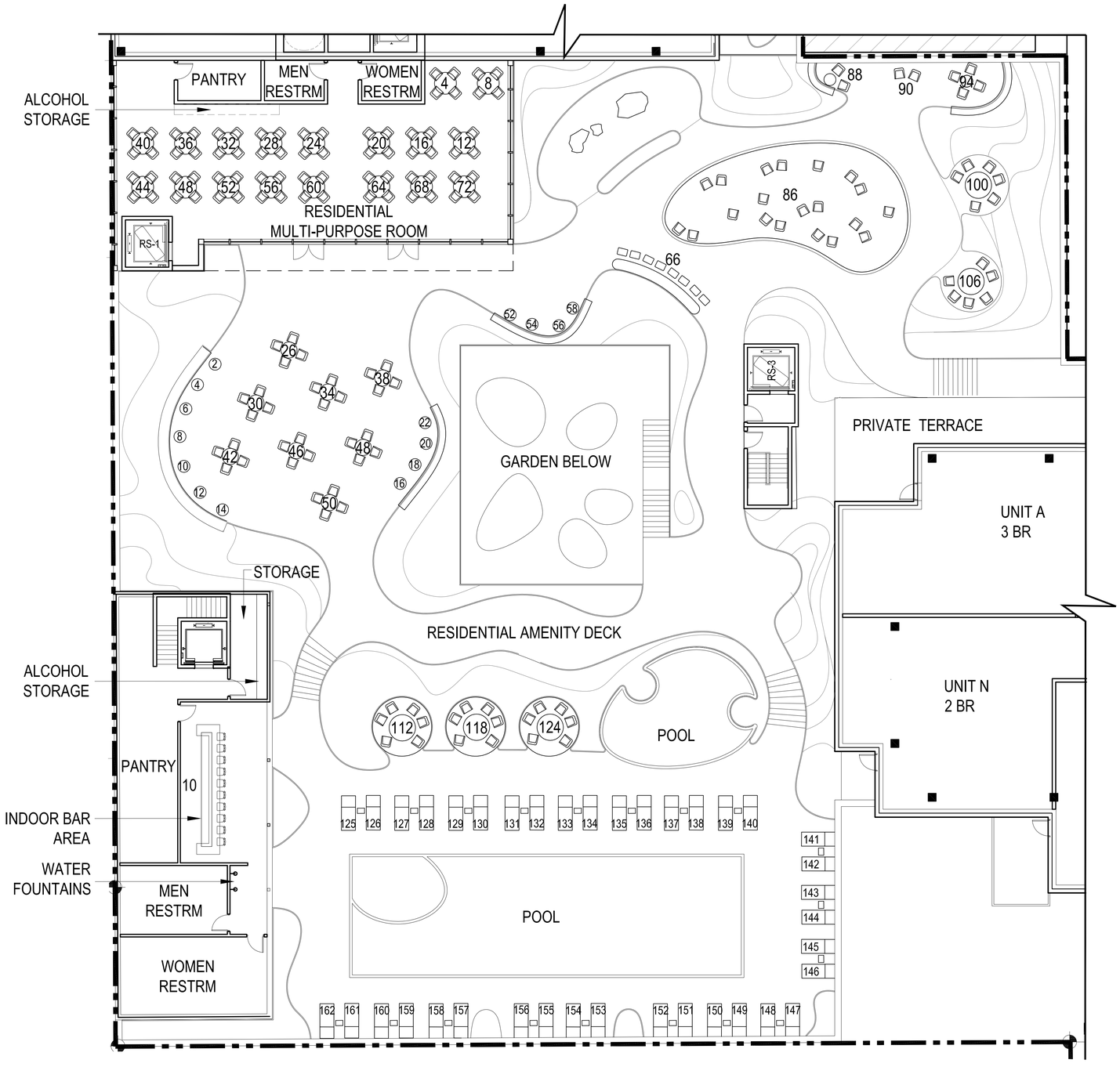
KEY PLAN

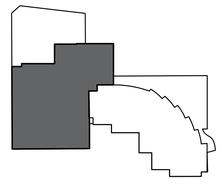
SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
EAST SITE - ENLARGED RETAIL PLANS

DRAWING NO:
A-142

© Handel Architects LLP 2018





PROGRAM AREA	LEVEL 2 AMENITY
INDOOR MULTI. AREA	2837 SF
OUTDOOR AREA	9615 SF
TOTAL INDOOR AREA	5032 SF
INDOOR SEATING	82
OUTDOOR SEATING	162
TOTAL SEATING	244

N 0' 4' 8' 16' 32'
SCALE: 3/32" = 1'-0"

ENLARGED PLAN_AMENITY DECK AT WEST SITE 1
SCALE: 3/32"= 1'-0"

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

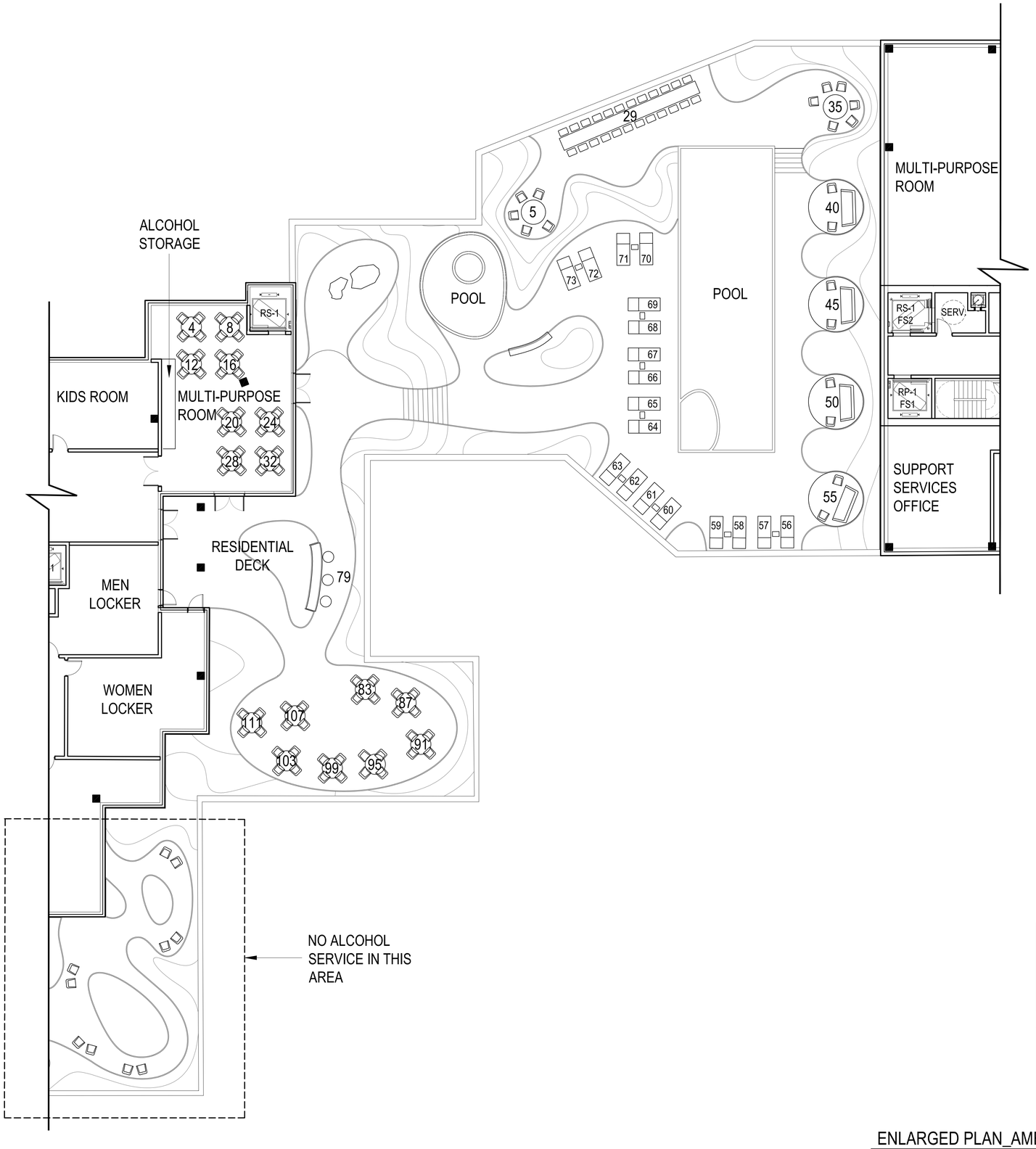
KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
WEST SITE-ENLARGED AMENITY DECK PLAN

DRAWING NO:
A-151

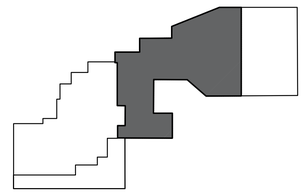
© Handel Architects LLP 2018



N

0' 4' 8' 16' 32'

SCALE: 3/32" = 1'-0"



PROGRAM AREA	LEVEL 2 AMENITY
INDOOR MULTI. AREA	1020 SF
OUTDOOR AREA	4500 SF
TOTAL INDOOR AREA	1020 SF
INDOOR SEATING	32
OUTDOOR SEATING	111
TOTAL SEATING	143

ENLARGED PLAN_AMENITY DECK AT EAST SITE

SCALE: 3/32"= 1'-0"

1

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350

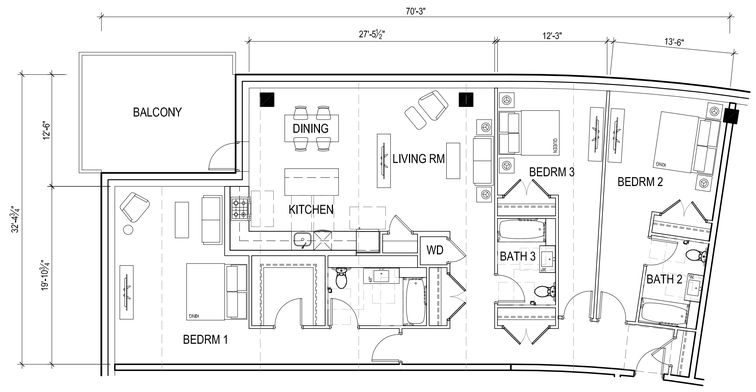
SEAL & SIGNATURE

DRAWING TITLE:
EAST SITE - ENLARGED AMENITY DECK PLAN

DRAWING NO:

A-152

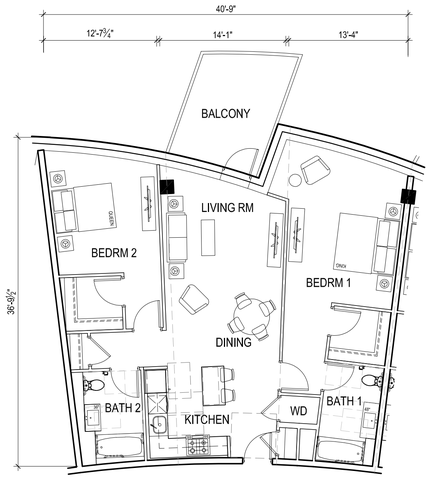
© Handel Architects LLP 2018



WEST SITE: TYPICAL 3 BEDROOM

SCALE: 1/8"= 1'-0"

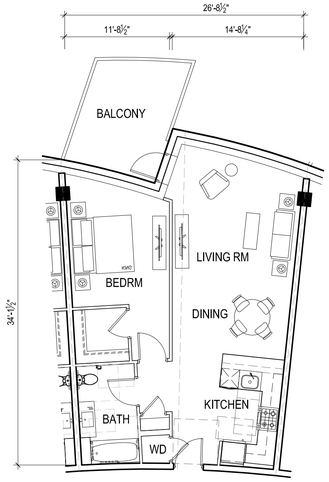
6



WEST SITE: TYPICAL 2 BEDROOM

SCALE: 1/8"= 1'-0"

5

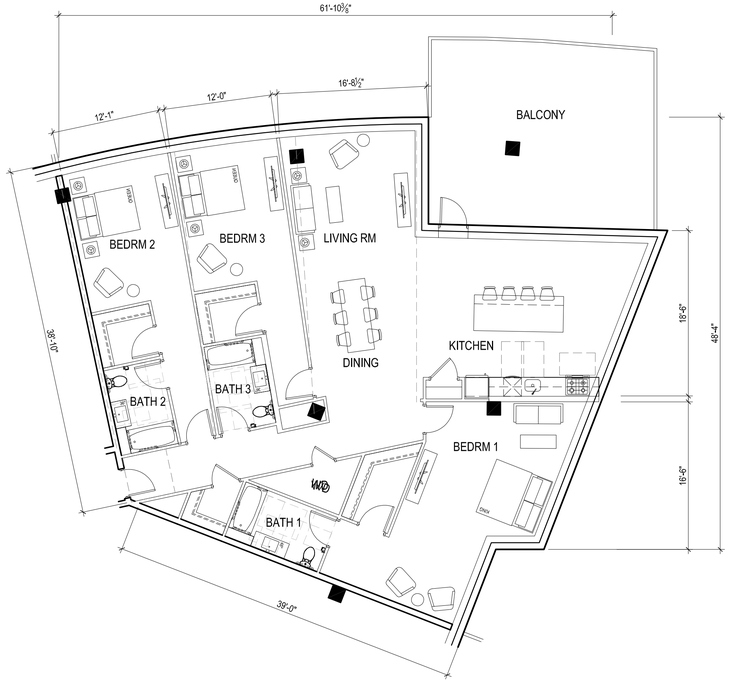


WEST SITE: TYPICAL 1 BEDROOM

SCALE: 1/8"= 1'-0"

4

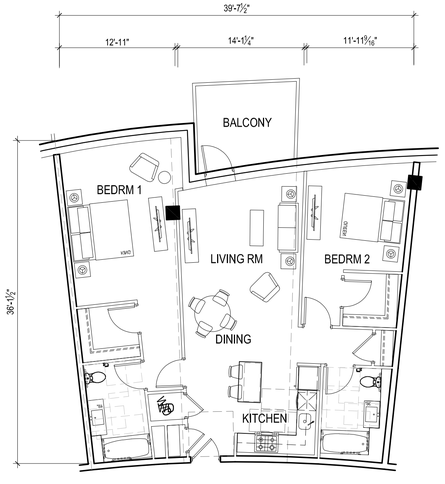
WEST BUILDING, RESIDENTIAL LAYOUTS



EAST SITE: TYPICAL 3 BEDROOM

SCALE: 1/8"= 1'-0"

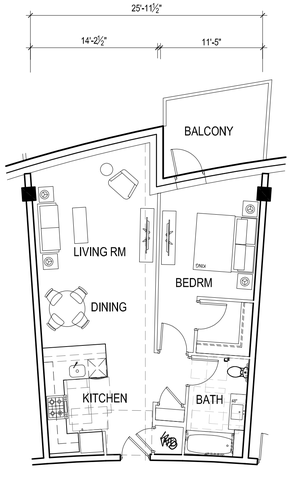
3



EAST SITE: TYPICAL 2 BEDROOM

SCALE: 1/8"= 1'-0"

2



EAST SITE: TYPICAL 1 BEDROOM

SCALE: 1/8"= 1'-0"

1

N

0' 4' 8' 16' 32'

SCALE: 1/8" = 1'-0"

EAST BUILDING, RESIDENTIAL LAYOUTS

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

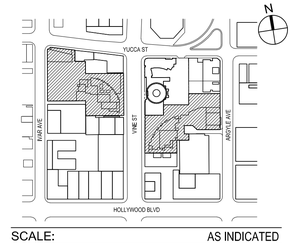
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

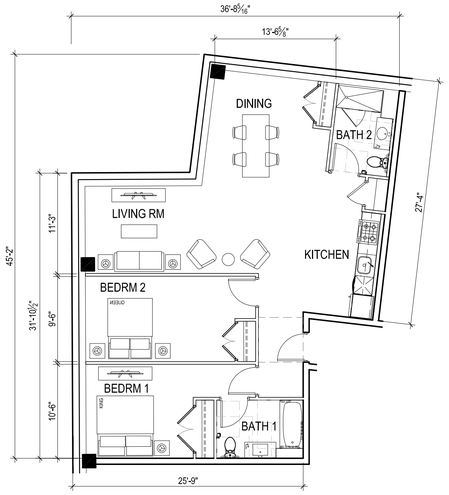
DRAWING TITLE:

ENLARGED TYPICAL UNIT PLANS

DRAWING NO:

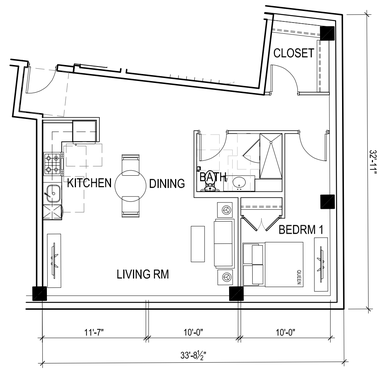
A-161

© Handel Architects LLP 2018



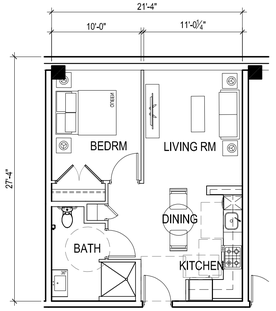
WEST SITE: TYPICAL 2 BEDROOM (6)

SCALE: 1/8"= 1'-0"



WEST SITE: 1 BEDROOM TYPE 2 (5)

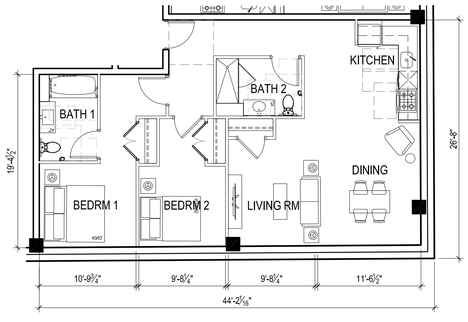
SCALE: 1/8"= 1'-0"



WEST SITE: 1 BEDROOM TYPE 1 (4)

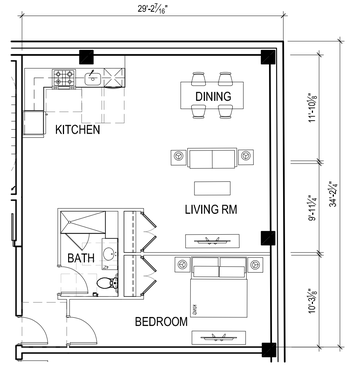
SCALE: 1/8"= 1'-0"

WEST SENIOR BUILDING



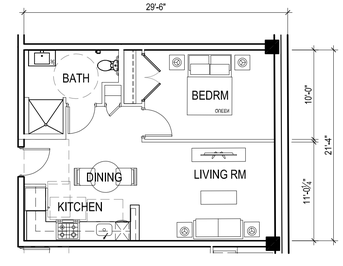
EAST SITE: TYPICAL 2 BEDROOM (3)

SCALE: 1/8"= 1'-0"



EAST SITE: 1 BEDROOM TYPE 2 (2)

SCALE: 1/8"= 1'-0"



EAST SITE: 1 BEDROOM TYPE 1 (1)

SCALE: 1/8"= 1'-0"

N

0' 4' 8' 16' 32'

SCALE: 1/8" = 1'-0"

EAST SENIOR BUILDING

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

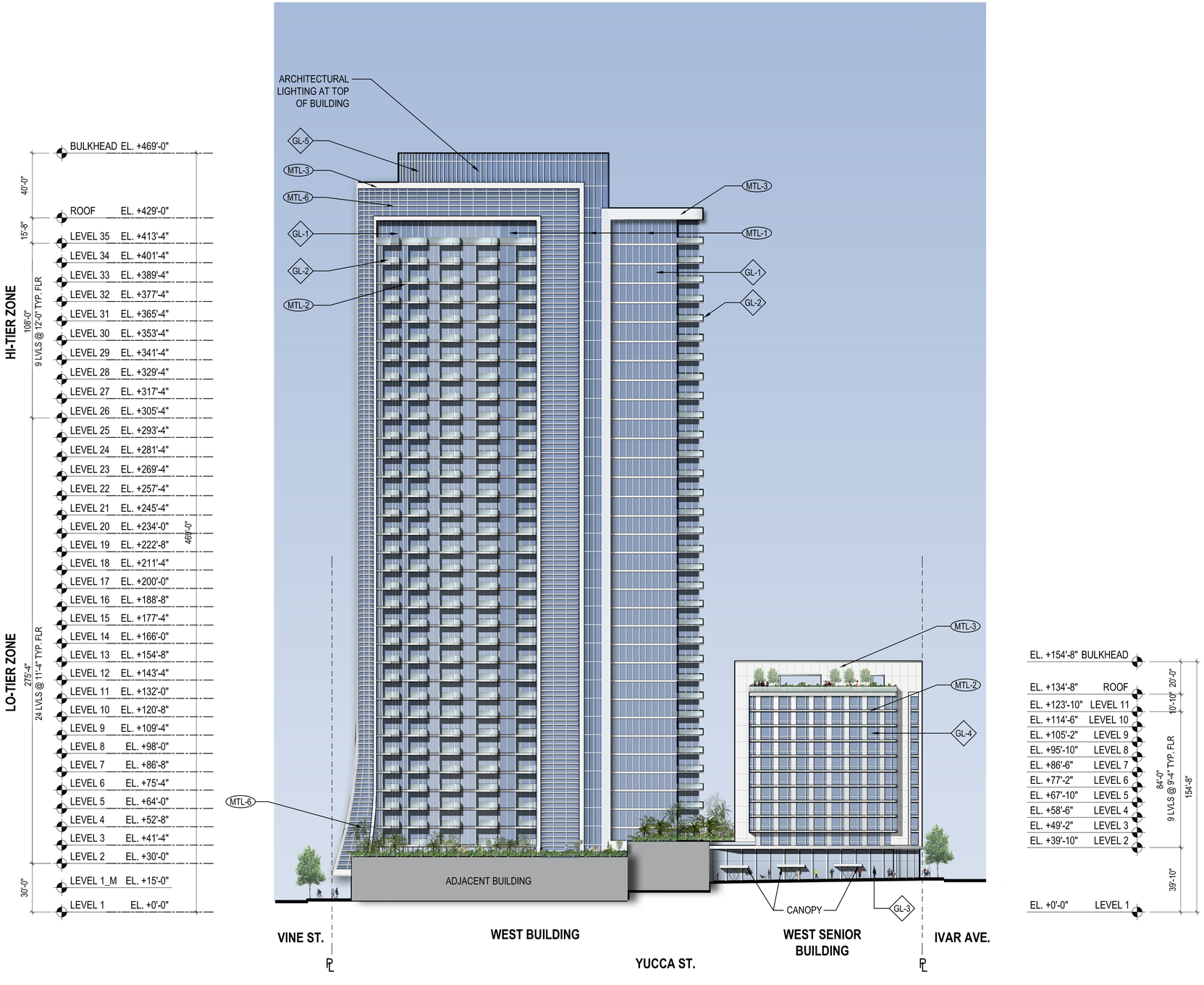
DRAWING TITLE:

ENLARGED TYPICAL UNIT PLANS

DRAWING NO:

A-162

© Handel Architects LLP 2018



N 0' 10' 30' 60' 100'

SCALE: 1/32" = 1'-0"

WEST SITE - NORTH ELEVATION

SCALE: 1/32"= 1'-0"

1

EXTERIOR MATERIALS

GLASS:

- GL-1 INSULATED GLASS UNIT WITH LOW-E COATING
- GL-2 BALCONY GLASS RAILING SYSTEM WITH TEMPERED LAMINATED GLASS
- GL-3 GLASS STOREFRONT SYSTEM
- GL-4 INSULATED GLASS UNIT WITH LOW-E COATING
- GL-5 INSULATED GLASS UNIT AT MECHANICAL PENTHOUSE

METAL:

- MTL-1 PAINTED METAL MULLION OR FIN
- MTL-2 INSULATED METAL SLAB COVER
- MTL-3 TRIMS, COVERS, AND EXTRUSIONS WITHOUT INSULATION AT ROOFS AND TERRACES
- MTL-4 INSULATED METAL COMPOSITE WALL PANEL
- MTL-5 DECORATIVE METAL FINS AT STOREFRONT
- MTL-6 DECORATIVE PAINTED METAL SCREEN

STONE:

- ST-1 STONE PANEL AT STOREFRONT BASE

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED

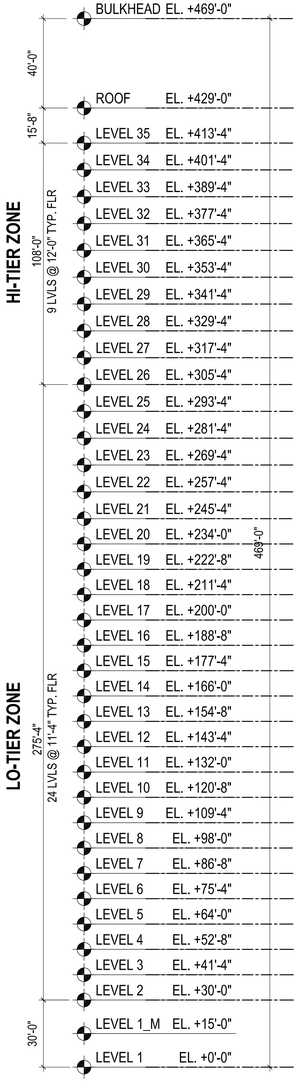
PROJECT NO: 1350

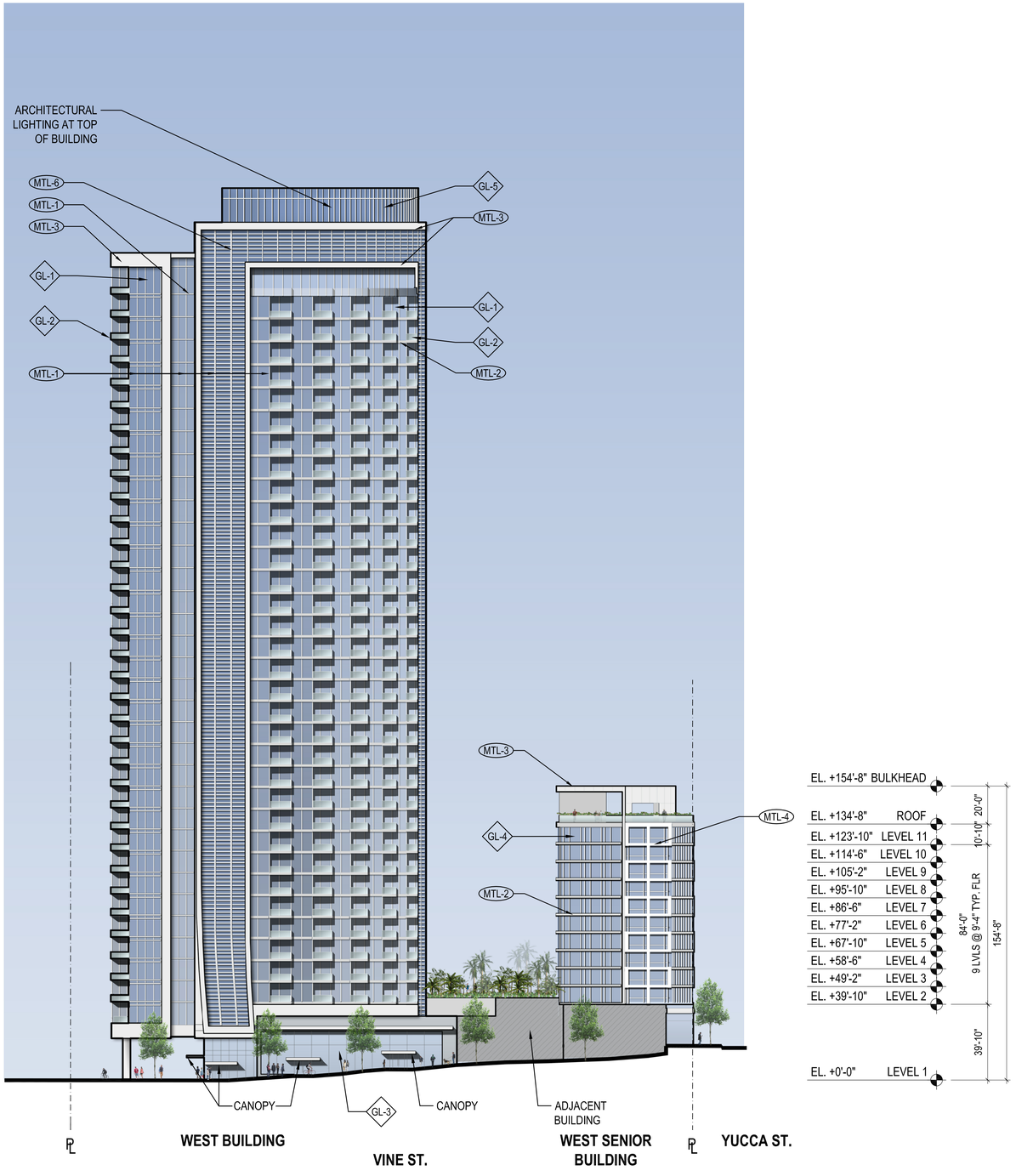
SEAL & SIGNATURE

DRAWING TITLE:
WEST SITE - NORTH ELEVATION

DRAWING NO:
A-201

© Handel Architects LLP 2018





N 0' 10' 30' 60' 100'

SCALE: 1/32" = 1'-0"

WEST SITE - EAST ELEVATION

SCALE: 1/32"= 1'-0"

1

EXTERIOR MATERIALS

GLASS:

- GL-1 INSULATED GLASS UNIT WITH LOW-E COATING
- GL-2 BALCONY GLASS RAILING SYSTEM WITH TEMPERED LAMINATED GLASS
- GL-3 GLASS STOREFRONT SYSTEM
- GL-4 INSULATED GLASS UNIT WITH LOW-E COATING
- GL-5 INSULATED GLASS UNIT AT MECHANICAL PENTHOUSE

METAL:

- MTL-1 PAINTED METAL MULLION OR FIN
- MTL-2 INSULATED METAL SLAB COVER
- MTL-3 TRIMS, COVERS, AND EXTRUSIONS WITHOUT INSULATION AT ROOFS AND TERRACES
- MTL-4 INSULATED METAL COMPOSITE WALL PANEL
- MTL-5 DECORATIVE METAL FINS AT STOREFRONT
- MTL-6 DECORATIVE PAINTED METAL SCREEN

STONE:

- ST-1 STONE PANEL AT STOREFRONT BASE

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

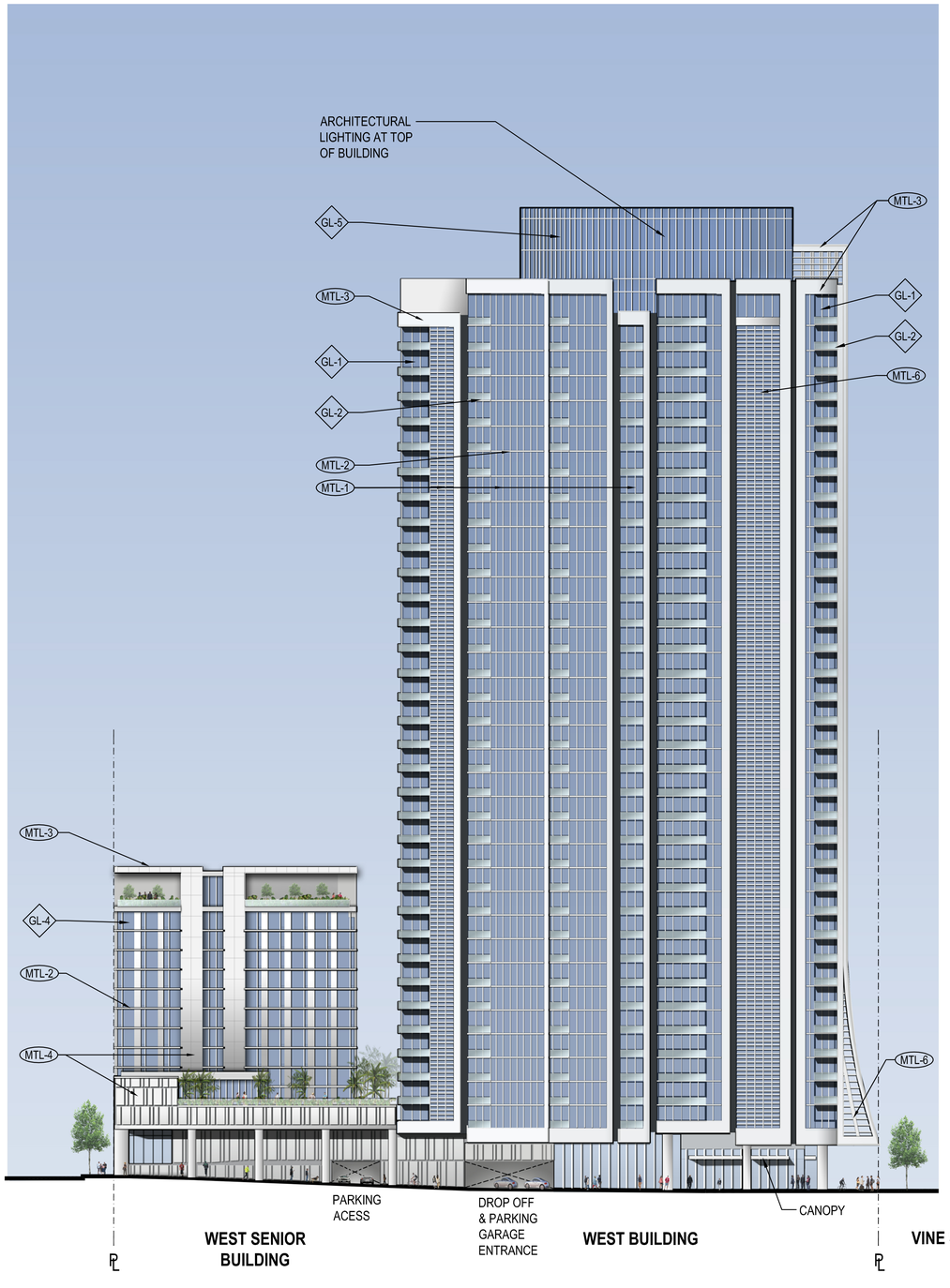
DRAWING TITLE:

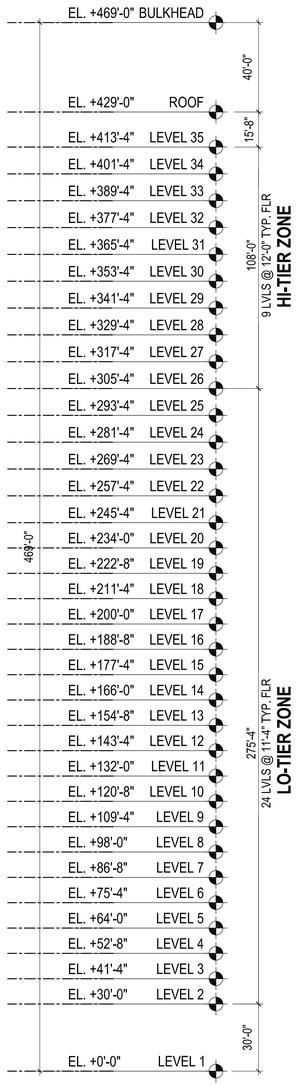
WEST SITE - EAST ELEVATION

DRAWING NO:

A-202

© Handel Architects LLP 2018





N
0' 10' 30' 60' 100'
SCALE: 1/32" = 1'-0"

WEST SITE - SOUTH ELEVATION
SCALE: 1/32"= 1'-0"
1

EXTERIOR MATERIALS

GLASS:

- GL-1 INSULATED GLASS UNIT WITH LOW-E COATING
- GL-2 BALCONY GLASS RAILING SYSTEM WITH TEMPERED LAMINATED GLASS
- GL-3 GLASS STOREFRONT SYSTEM
- GL-4 INSULATED GLASS UNIT WITH LOW-E COATING
- GL-5 INSULATED GLASS UNIT AT MECHANICAL PENTHOUSE

METAL:

- MTL-1 PAINTED METAL MULLION OR FIN
- MTL-2 INSULATED METAL SLAB COVER
- MTL-3 TRIMS, COVERS, AND EXTRUSIONS WITHOUT INSULATION AT ROOFS AND TERRACES
- MTL-4 INSULATED METAL COMPOSITE WALL PANEL
- MTL-5 DECORATIVE METAL FINS AT STOREFRONT
- MTL-6 DECORATIVE PAINTED METAL SCREEN

STONE:

- ST-1 STONE PANEL AT STOREFRONT BASE

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

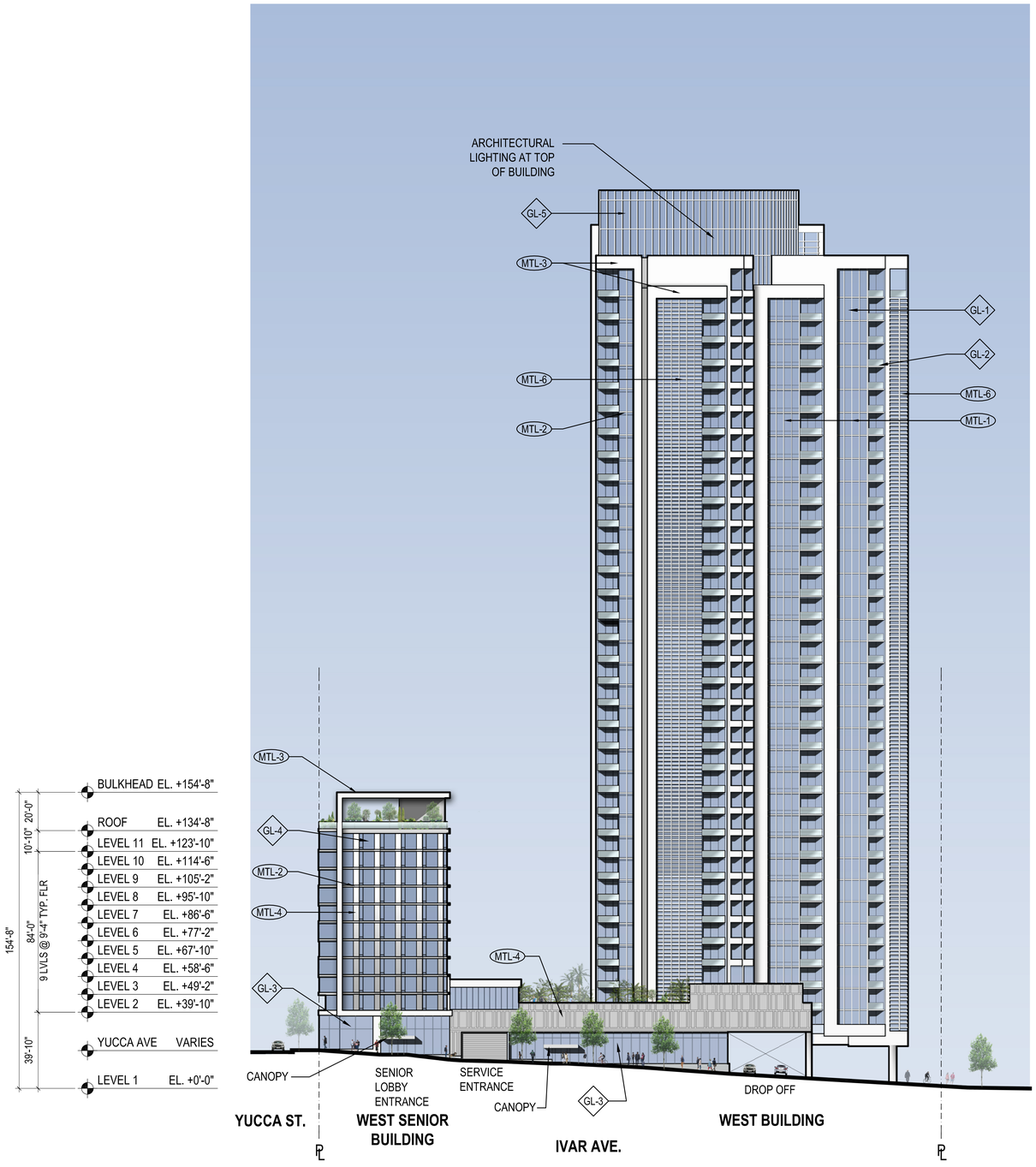
KEY PLAN

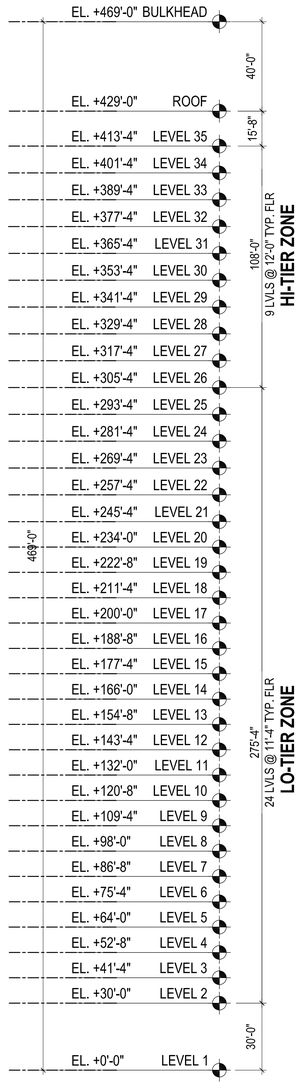
SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
WEST SITE - SOUTH ELEVATION

DRAWING NO:
A-203

© Handel Architects LLP 2018





N

0' 10' 30' 60' 100'

SCALE: 1/32" = 1'-0"

WEST SITE - WEST ELEVATION

SCALE: 1/32"= 1'-0"

1

EXTERIOR MATERIALS

GLASS:

- GL-1 INSULATED GLASS UNIT WITH LOW-E COATING
- GL-2 BALCONY GLASS RAILING SYSTEM WITH TEMPERED LAMINATED GLASS
- GL-3 GLASS STOREFRONT SYSTEM
- GL-4 INSULATED GLASS UNIT WITH LOW-E COATING
- GL-5 INSULATED GLASS UNIT AT MECHANICAL PENTHOUSE

METAL:

- MTL-1 PAINTED METAL MULLION OR FIN
- MTL-2 INSULATED METAL SLAB COVER
- MTL-3 TRIMS, COVERS, AND EXTRUSIONS WITHOUT INSULATION AT ROOFS AND TERRACES
- MTL-4 INSULATED METAL COMPOSITE WALL PANEL
- MTL-5 DECORATIVE METAL FINS AT STOREFRONT
- MTL-6 DECORATIVE PAINTED METAL SCREEN

STONE:

- ST-1 STONE PANEL AT STOREFRONT BASE

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

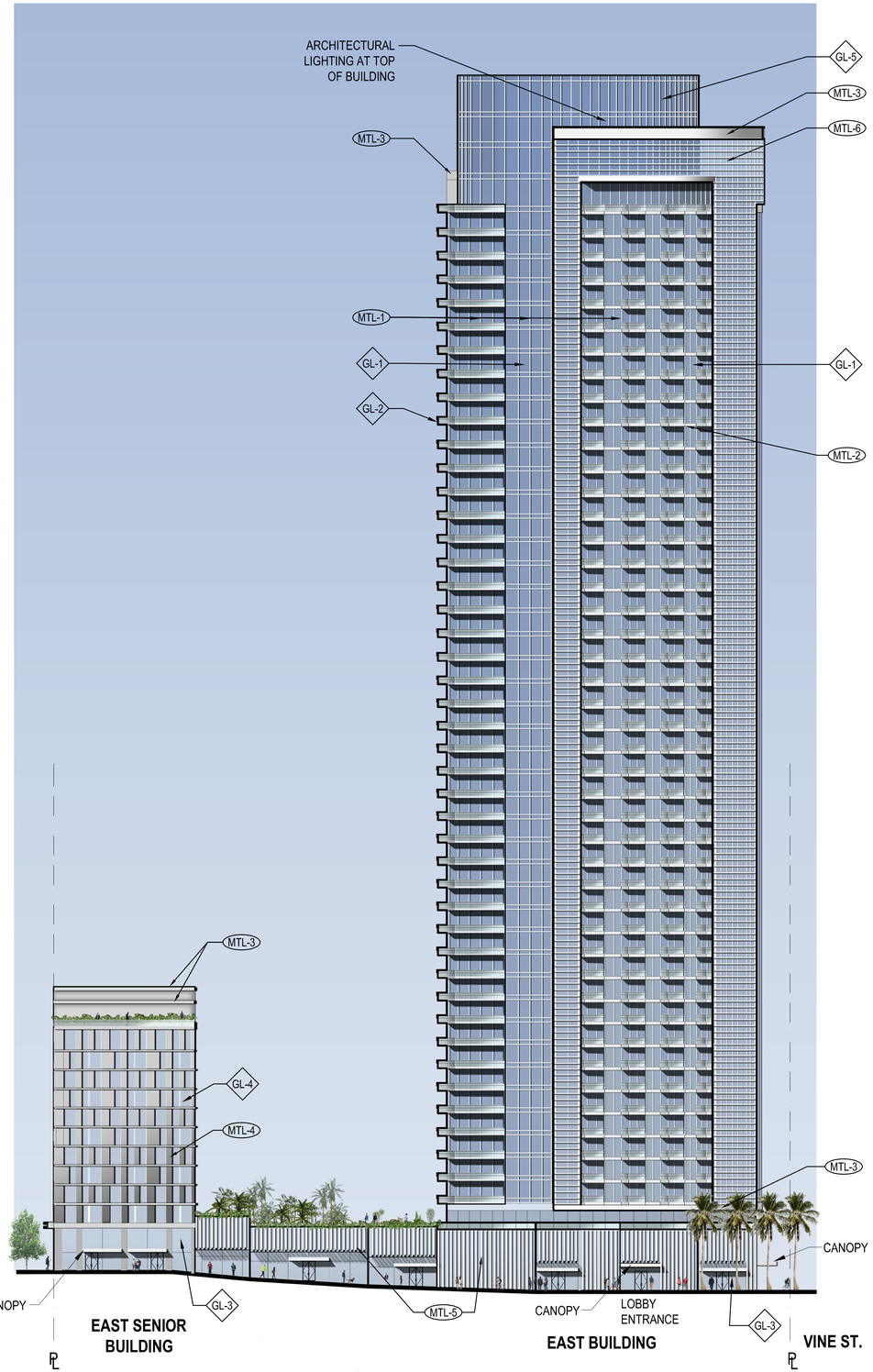
DRAWING TITLE:

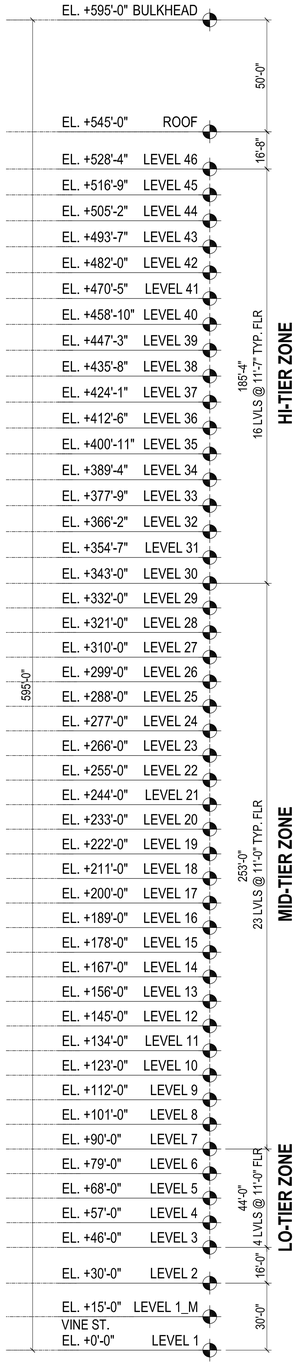
WEST SITE - WEST ELEVATION

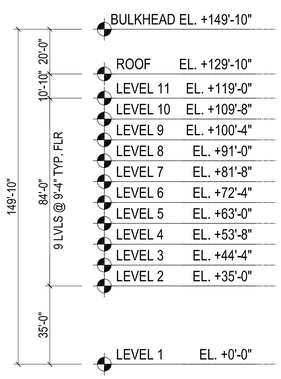
DRAWING NO:

A-204

© Handel Architects LLP 2018







N

0' 10' 30' 60' 100'

SCALE: 1/32" = 1'-0"

EAST SITE - NORTH ELEVATION

SCALE: 1/32"= 1'-0"

1

EXTERIOR MATERIALS

GLASS:

- GL-1 INSULATED GLASS UNIT WITH LOW-E COATING
- GL-2 BALCONY GLASS RAILING SYSTEM WITH TEMPERED LAMINATED GLASS
- GL-3 GLASS STOREFRONT SYSTEM
- GL-4 INSULATED GLASS UNIT WITH LOW-E COATING
- GL-5 INSULATED GLASS UNIT AT MECHANICAL PENTHOUSE

METAL:

- MTL-1 PAINTED METAL MULLION OR FIN
- MTL-2 INSULATED METAL SLAB COVER
- MTL-3 TRIMS, COVERS, AND EXTRUSIONS WITHOUT INSULATION AT ROOFS AND TERRACES
- MTL-4 INSULATED METAL COMPOSITE WALL PANEL
- MTL-5 DECORATIVE METAL FINS AT STOREFRONT
- MTL-6 DECORATIVE PAINTED METAL SCREEN

STONE:

- ST-1 STONE PANEL AT STOREFRONT BASE

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

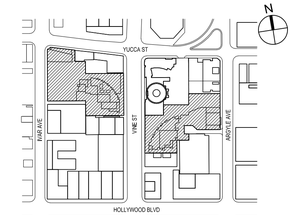
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

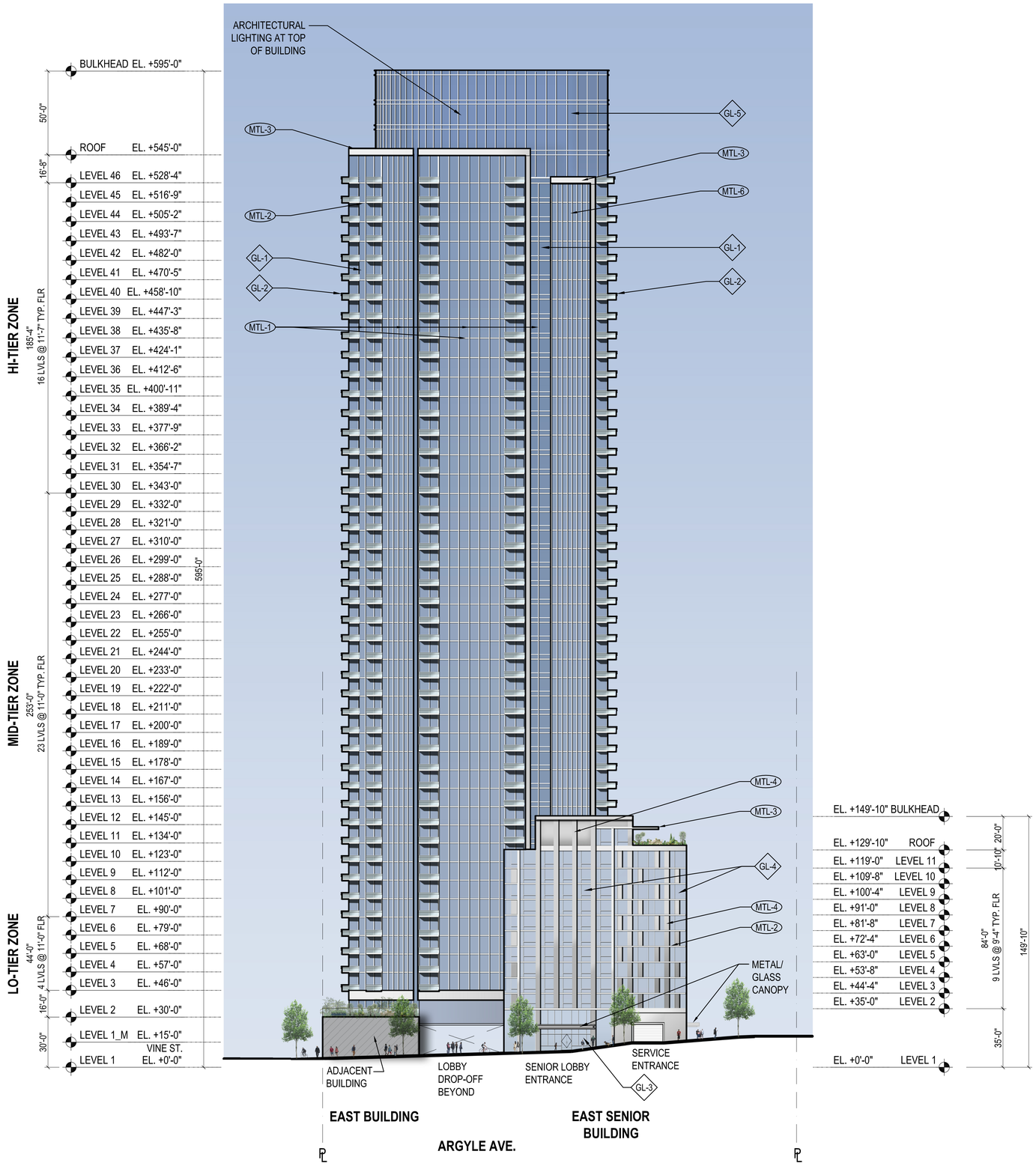
DRAWING TITLE:

EAST SITE - NORTH ELEVATION

DRAWING NO:

A-205

© Handel Architects LLP 2018



N

0' 10' 30' 60' 100'

SCALE: 1/32" = 1'-0"

EAST SITE - EAST ELEVATION

SCALE: 1/32"= 1'-0"

1

EXTERIOR MATERIALS

GLASS:

- GL-1 — INSULATED GLASS UNIT WITH LOW-E COATING
- GL-2 — BALCONY GLASS RAILING SYSTEM WITH TEMPERED LAMINATED GLASS
- GL-3 — GLASS STOREFRONT SYSTEM
- GL-4 — INSULATED GLASS UNIT WITH LOW-E COATING
- GL-5 — INSULATED GLASS UNIT AT MECHANICAL PENTHOUSE

METAL:

- MTL-1 — PAINTED METAL MULLION OR FIN
- MTL-2 — INSULATED METAL SLAB COVER
- MTL-3 — TRIMS, COVERS, AND EXTRUSIONS WITHOUT INSULATION AT ROOFS AND TERRACES
- MTL-4 — INSULATED METAL COMPOSITE WALL PANEL
- MTL-5 — DECORATIVE METAL FINS AT STOREFRONT
- MTL-6 — DECORATIVE PAINTED METAL SCREEN

STONE:

- ST-1 — STONE PANEL AT STOREFRONT BASE

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

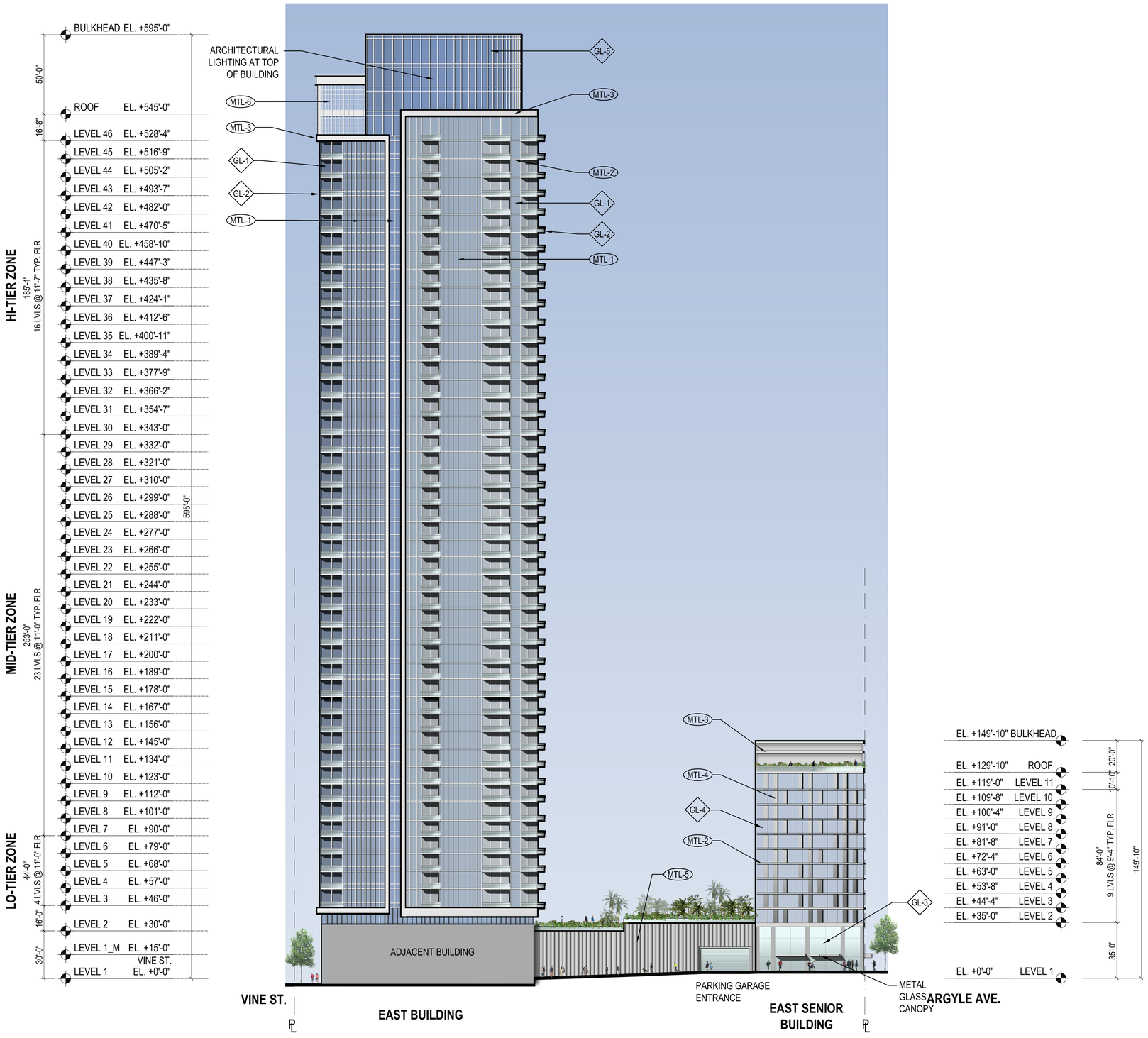
DRAWING TITLE:

EAST SITE - EAST ELEVATION

DRAWING NO:

A-206

© Handel Architects LLP 2018



N

0' 10' 30' 60' 100'

SCALE: 1/32" = 1'-0"

EAST SITE - SOUTH ELEVATION

SCALE: 1/32"= 1'-0"

1

EXTERIOR MATERIALS

GLASS:

- GL-1 — INSULATED GLASS UNIT WITH LOW-E COATING
- GL-2 — BALCONY GLASS RAILING SYSTEM WITH TEMPERED LAMINATED GLASS
- GL-3 — GLASS STOREFRONT SYSTEM
- GL-4 — INSULATED GLASS UNIT WITH LOW-E COATING
- GL-5 — INSULATED GLASS UNIT AT MECHANICAL PENTHOUSE

METAL:

- MTL-1 — PAINTED METAL MULLION OR FIN
- MTL-2 — INSULATED METAL SLAB COVER
- MTL-3 — TRIMS, COVERS, AND EXTRUSIONS WITHOUT INSULATION AT ROOFS AND TERRACES
- MTL-4 — INSULATED METAL COMPOSITE WALL PANEL
- MTL-5 — DECORATIVE METAL FINS AT STOREFRONT
- MTL-6 — DECORATIVE PAINTED METAL SCREEN

STONE:

- ST-1 — STONE PANEL AT STOREFRONT BASE

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

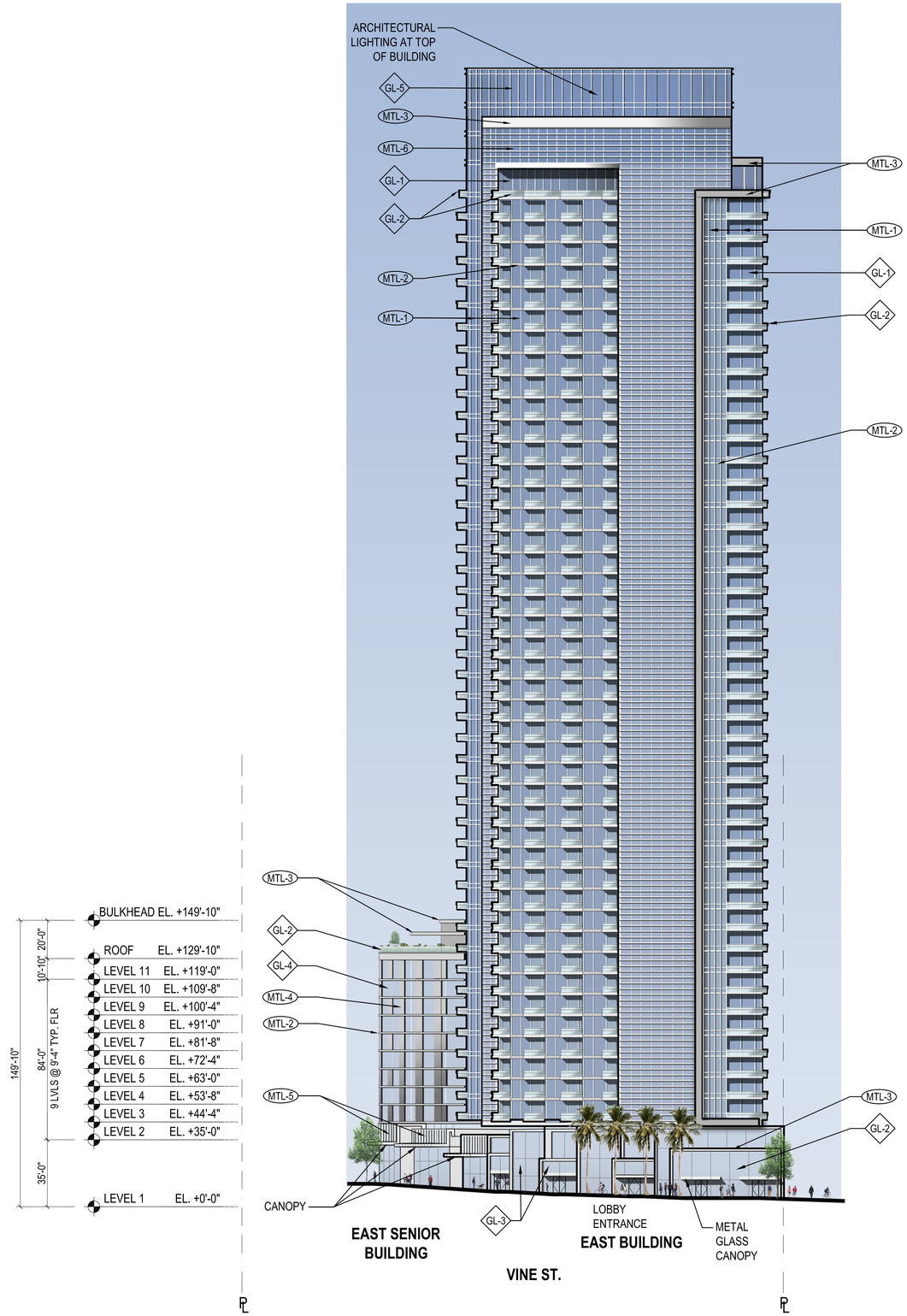
DRAWING TITLE:

EAST SITE - SOUTH ELEVATION

DRAWING NO:

A-207

© Handel Architects LLP 2018



N 0' 10' 30' 60' 100'

SCALE: 1/32" = 1'-0"

EAST SITE - WEST ELEVATION 1

SCALE: 1/32"= 1'-0"

EXTERIOR MATERIALS

GLASS:

- GL-1 — INSULATED GLASS UNIT WITH LOW-E COATING
- GL-2 — BALCONY GLASS RAILING SYSTEM WITH TEMPERED LAMINATED GLASS
- GL-3 — GLASS STOREFRONT SYSTEM
- GL-4 — INSULATED GLASS UNIT WITH LOW-E COATING
- GL-5 — INSULATED GLASS UNIT AT MECHANICAL PENTHOUSE

METAL:

- MTL-1 — PAINTED METAL MULLION OR FIN
- MTL-2 — INSULATED METAL SLAB COVER
- MTL-3 — TRIMS, COVERS, AND EXTRUSIONS WITHOUT INSULATION AT ROOFS AND TERRACES
- MTL-4 — INSULATED METAL COMPOSITE WALL PANEL
- MTL-5 — DECORATIVE METAL FINS AT STOREFRONT
- MTL-6 — DECORATIVE PAINTED METAL SCREEN

STONE:

- ST-1 — STONE PANEL AT STOREFRONT BASE

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

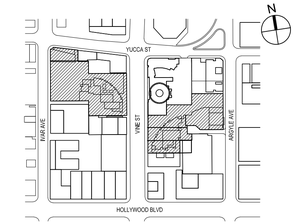
ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

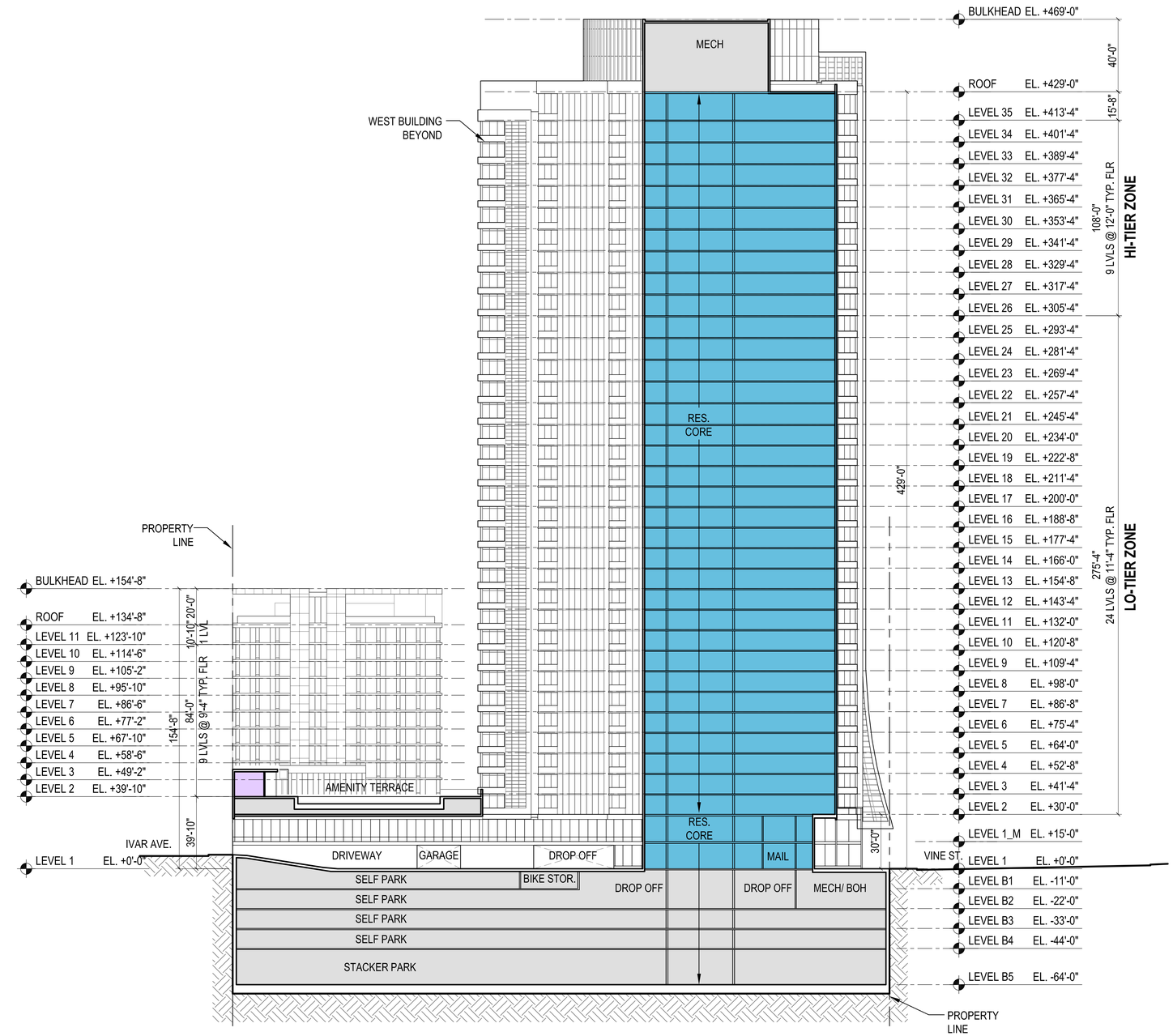


SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
EAST SITE - WEST ELEVATION

DRAWING NO:
A-208

© Handel Architects LLP 2018



N

0' 10' 30' 60' 100'

SCALE: 1/32" = 1'-0"

WEST SITE - BUILDING SECTION E-W

SCALE: 1/32"= 1'-0"

1

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

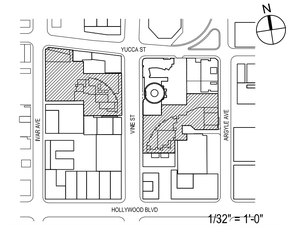
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN



1/32" = 1'-0"

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

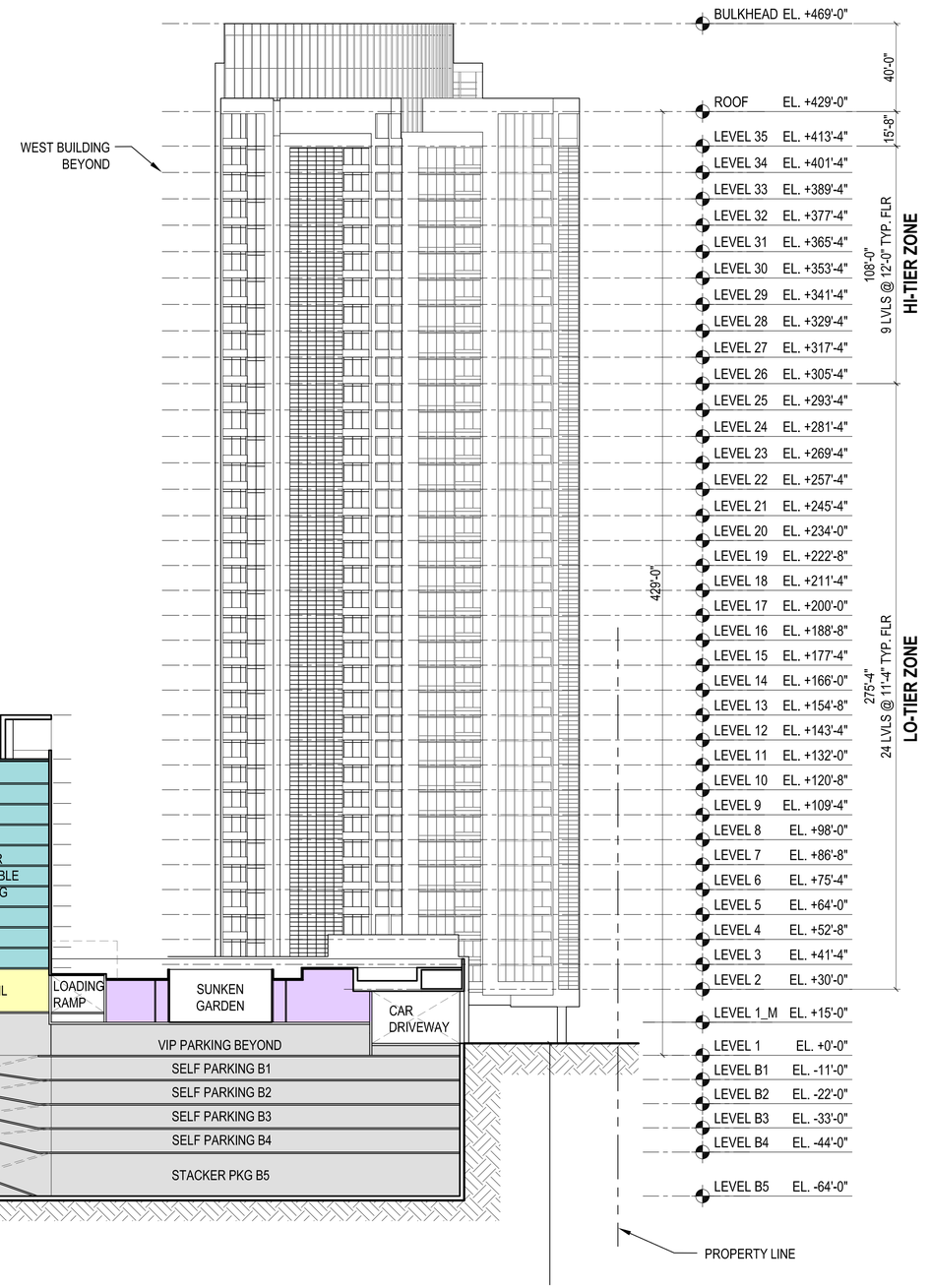
DRAWING TITLE:

WEST SITE-
BUILDING
SECTION_E-W

DRAWING NO:

A-301

© Handel Architects LLP 2018



N 0' 10' 30' 60' 100'

SCALE: 1/32" = 1'-0"

WEST SITE - BUILDING SECTION N-S

SCALE: 1/32"= 1'-0"

1

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

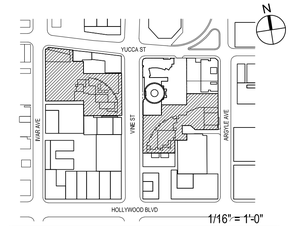
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

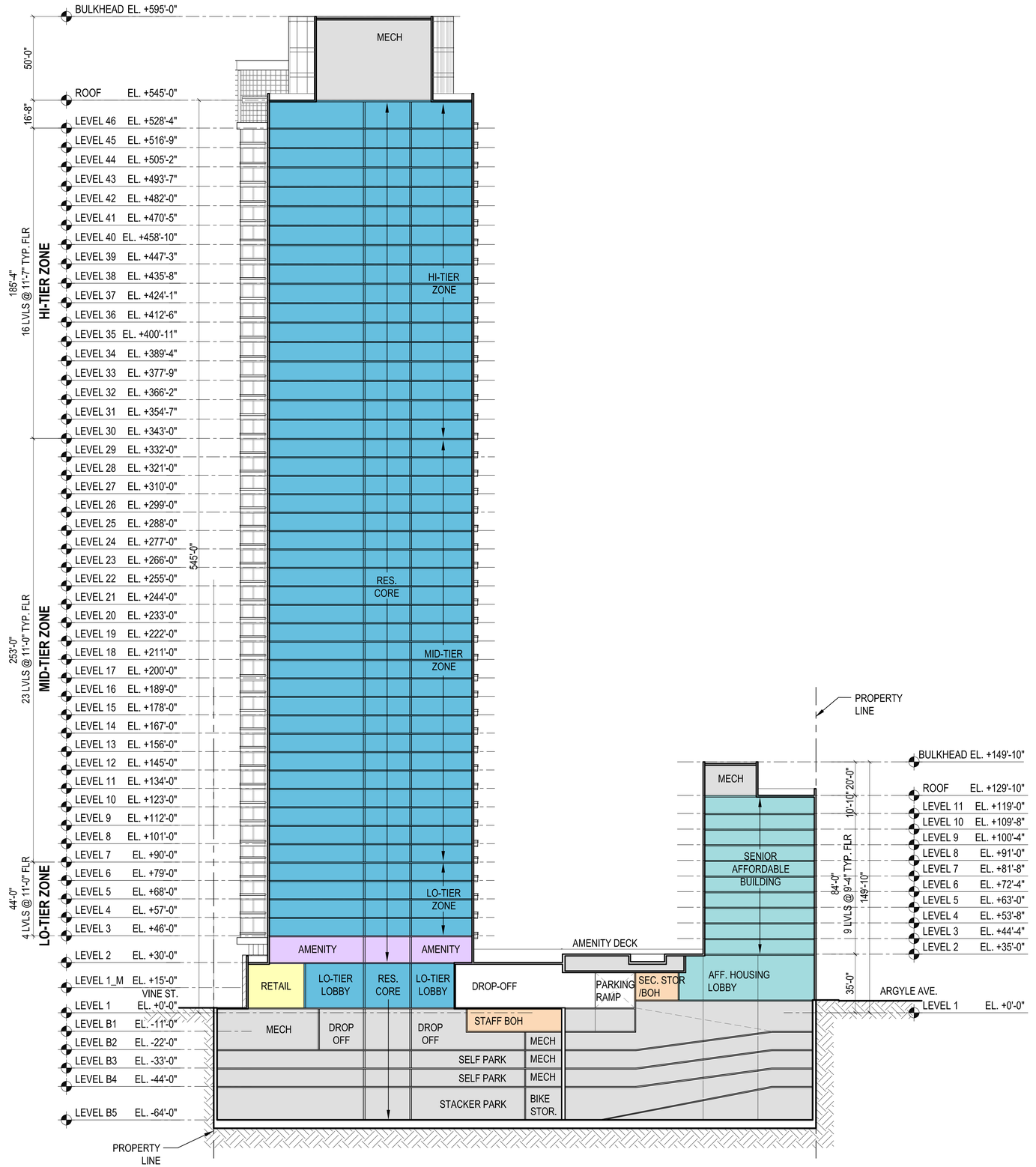
DRAWING TITLE:

WEST SITE - BUILDING SECTION_N-S

DRAWING NO:

A-302

© Handel Architects LLP 2018



N

0' 10' 30' 60' 100'

SCALE: 1/32" = 1'-0"

EAST SITE_BUILDING SECTION E-W

SCALE: 1/32"= 1'-0"

1

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

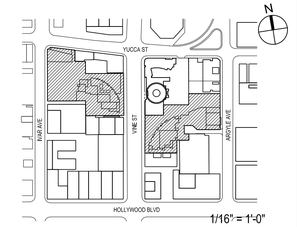
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

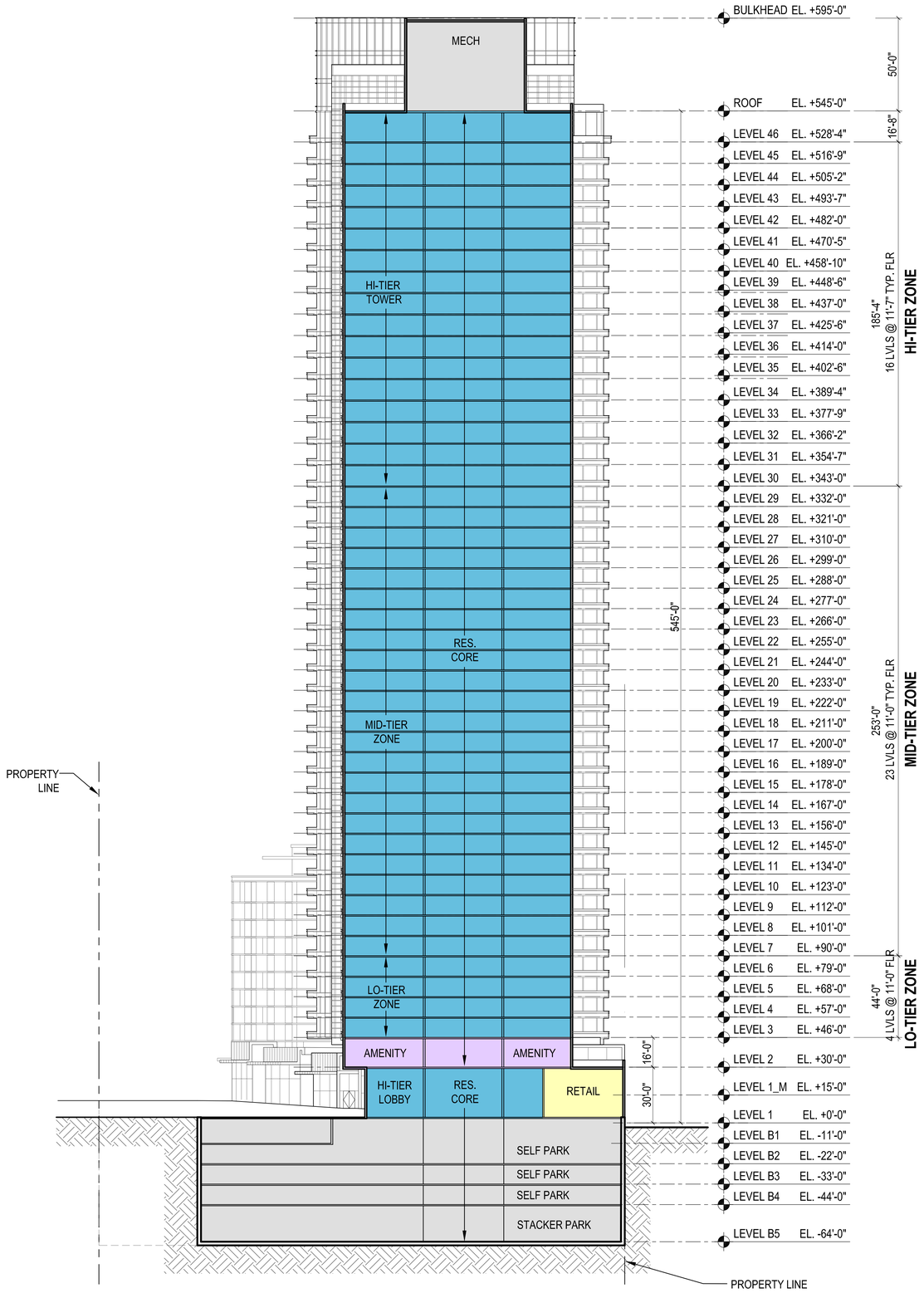
DRAWING TITLE:

EAST SITE - BUILDING SECTION_E-W

DRAWING NO:

A-303

© Handel Architects LLP 2018



N

0' 10' 30' 60' 100'

SCALE: 1/32" = 1'-0"

EAST SITE_BUILDING SECTION N-S

SCALE: 1/32"= 1'-0"

1

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

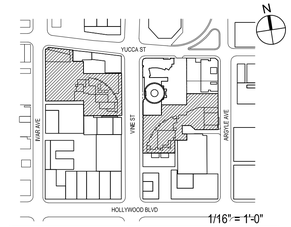
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN



1/16" = 1'-0"

SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

EAST SITE - BUILDING SECTION_N-S

DRAWING NO:

A-304

© Handel Architects LLP 2018

LOOKING NORTH ON VINE STREET

NTS

1

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

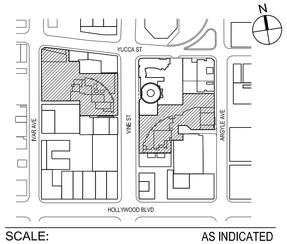
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

DRAWING TITLE:

RENDERINGS

DRAWING NO:

A-401

© Handel Architects LLP 2018

EAST SITE - HOTEL ALTERNATIVE

EAST SITE UNIT MIX

	TYPE	AVG. AREA	COUNT	AREA
EAST BUILDING	1BR	916 sf	117	107,141
	2BR	1,395 sf	132	184,102
	3BR	1,638 sf	65	106,472
	PH	2,171 sf	5	10,857
	TOTAL		**319**	**408,572 ***
	TYPE	AVG. AREA	COUNT	AREA
EAST SENIOR BUILDING	1BR	917 sf	40	36,687
	2BR	1,382 sf	8	11,059
	TOTAL		**48**	**47,746 ***
TOTAL			**367**	**456,318 ***

* NOTE: NUMBERS ARE ROUNDED UP TO THE NEAREST WHOLE NUMBER WHEN DECIMAL IS GREATER THAN OR EQUAL TO .5

UNIT MIX SUMMARY

	WEST	EAST	TOTAL
RESIDENTIAL BUILDINGS			
1BR	195	117	**312**
2BR	198	132	**330**
3BR	56	70	**126**
SUB-TOTAL	**449** (NC)	**319**	**768**
SENIOR BUILDINGS			
1BR	59	40	**99**
2BR	9	8	**17**
SUBTOTAL	**68** (NC)	**48**	**116**
TOTAL PROVIDED	**517** (NC)	**367**	**884**
TOTAL ALLOWED (200,925 / 200)			**1005**

(NC): No change in unit count on West Site from "All Res. Option"

PROJECT ADDRESS	6236-6334 West Yucca Street 1745-1770 North Vine Street 1733-1741 Argyle Avenue
GENERAL PLAN DESIGNATION	Regional Center Commercial
EXISTING ZONE	(T)(Q) C2-2-SN; C4-2D-SN
PROPOSED ZONE	C2-2-SN

APN & LEGAL

APN	LOT	ARB	BLOCK	TRACT
5546-030-028	LT 1	2	None	TR 18237
5546-030-031	FR 13	3	None	Central Hollywood Tract No. 2
5546-030-032	FR 13	2	None	Central Hollywood Tract No. 2
5546-030-033	LT 1	3	None	TR 18237
5546-030-034	FR 6	None	None	Central Hollywood Tract No. 2
5546-004-032	FR 1	None	21	Hollywood
5546-004-029	FR 2	1	21	Hollywood
5546-004-006	4	1	21	Hollywood
5546-004-020	21	2	21	Hollywood
5546-004-021	21	1	21	Hollywood

EAST SITE AREA BREAKDOWN

	TOTAL BUILDING PROGRAM *		PARKING	RETAIL / RESTAURANT	RESIDENTIAL	RESIDENTIAL AMENITY, LOBBIES, BOH	HOTEL
	LEVEL	ZONING FLOOR AREA (SF)	AREA PER FLOOR (SF)	AREA PER FLOOR (SF)	AREA PER FLOOR (SF) (EXCLUDES BALCONY AREA)	AREA PER FLOOR (SF)	AREA PER FLOOR (SF) (220 GUESTROOMS)
EAST SENIOR BUILDING	ARGYLE GROUND	1,840	-			1,840.0	
	2	6,035		-	4,379.2	1,656.0	
	3-8 (6 FLOORS)	37,172			6,195.3	-	
	9	6,195			6,195.3	-	
	MECH PH	-			-	-	
	SUBTOTAL	51,242 *	- -	-	47,746.2	3,496.0	-
EAST BUILDING	B5		-				
	B1-B4	4,196	- -	-	-	4,196.1	-
	BM (ARGYLE)	7,580	- -	7,580.2	-		-
	VINE GROUND	19,283	-	9,905.3	-	5,370.0	4,007.5
	2 AMENITY	12,604	- -	-	-	6,854.0	5,750.0
	3-12 HOTEL (10 FLOORS)	120,520	- -	-	-		12,052.0
	13-29 RES. LO-TIER (17 FLOORS)	204,884	-	-	12,052.0	-	-
	30-45 RES. HI-TIER (16 FLOORS)	192,832	-	-	12,052.0	-	-
	46 RES.	10,856	-	-	10,856.0	-	-
	MECH PH	-	-	-		-	-
	SUBTOTAL	572,755 *	- -	17,485.5	408,572.0	16,420.2	130,277.5
EAST SITE DEVELOPMENT TOTALS		623,997 *	- -	17,485.5	456,318.2	19,916.2	130,277.5

* NOTE: NUMBERS ARE ROUNDED UP TO NEAREST WHOLE NUMBER WHEN DECIMAL IS GREATER THAN .5

SITE SUMMARY

WEST SITE AREA		78,629
EAST SITE AREA	+	115,866
TOTAL SITE AREA		**194,495 SF**
EAST SITE ALLEY MERGER	+	1,267
SIDEWALK MERGER AREA	+	5,163
TOTAL PROJECT SITE LOT AREA		**200,925 SF**

TOTAL PROPOSED

BUILDABLE AREA @ 6.0 : 1 FAR (Base)		1,205,550
BUILDABLE AREA @ 8.1 : 1 FAR (Density Bonus)		1,627,493
WEST BUILDING		582,640 (NC)
WEST SENIOR BUILDING		66,104 (NC)
EAST BUILDING		572,755
EAST SENIOR BUILDING	+	51,242
TOTAL NEW PROPOSED FLOOR AREA		**1,272,741** SF
EXISTING CAPITOL RECORDS BUILDING	+	*114,303*
TOTAL BUILDABLE AREA USED		**1,387,044** SF
TOTAL FAR		6.903

(NC): No change areas from West Site, All Residential Option

CAR PARKING EAST SITE

	UNIT TYPE	sp/br	# Units	Required		Provided
EAST BUILDING						
	0~1 BR	0.5	117	58.5		109
	2 BR	0.5	132	132.0		182
	3 BR	0.5	70	105.0		129
	SUBTOTAL		319	**295.5**	*	**420**
EAST SENIOR BUILDING		sp/br	# Units	Required		Provided
	0~1 BR	0.5	40	20.0		20
	2 BR	0.5	8	8.0		8
	SUBTOTAL		48	**28.0**	*	**28**
COMMERCIAL						
	Per 1000sf	2	17,485	**35.0**		**40**
HOTEL	FIRST 30 ROOMS	1				
	30th ~ 60th	1/2	220	**99.0**		**99**
	61st up	1/3				
CAPITOL RECORDS REPLACEMNT (PER C of O)				**97.0**		**97.0**
TOTAL PARKING SPACES				**555**	*	**684**
NUMBER OF EV SPACES (INCLUSIVE)						**69**

BIKE PARKING

	LONG TERM				SHORT TERM	
	Unit Range	sp/unit	# Units	Req/Prd	sp/unit	Req/Prd
EAST BUILDING						
	1~25	1.00	25	25	0.100	2.5
	26~100	0.67	75	50	0.067	5.0
	101~200	0.50	100	50	0.050	5.0
	200+	0.25	119	30	0.025	3.0
			319	155		**15.5**
EAST SENIOR BUILDING	sp/ unit		# Units	Req/Prd		
	1~25	1.00	25	25	0.100	2.5
	26~100	0.67	23	15	0.067	1.5
			48	40		**4.0**
COMMERCIAL						
	1 / 2000sf		17,485	**9**		**9**
HOTEL						
	0.1	1 per 10 guestrooms	220	**22**	1 per 10 guestrooms	**22**
TOTAL BIKE SPACES REQUIRED AND PROVIDED				**226**		**51**

* NOTE: PER AB 744, ANY NUMBER OTHER THAN A WHOLE NUMBER SHALL BE ROUNDED UP TO THE NEXT WHOLE NUMBER.

(NC): No change areas from West Site, All Residential Option

PARKING & BIKE SUMMARY (WEST SITE + EAST SITE HOTEL ALTERNATIVE)

	CAR		BIKE [3]			
			SHORT TERM		LONG TERM	
	REQ.	PROV.	REQ.	PROV.	REQ.	PROV.
RESIDENTIAL	742	1,142	44	44	436	436
COMMERCIAL	157	279 [2]	15	15	15	15
HOTEL	99	99	22	22	22	22
TOTAL	998	1,521	81	81	473	473

1 PER AB 744, ANY NUMBER OTHER THAN A WHOLE NUMBER SHALL BE ROUNDED UP TO THE NEXT WHOLE NUMBER.
2 INCLUSIVE OF THE 97 CAPITOL RECORDS CofO
3 DOES NOT INCLUDE BIKE PARKING FOR EXISTING USES

NOTES:
1. REFER TO SHEETS G-008 AND G-009 FOR WEST SITE DETAILS
2. (NC) DENOTES "NO CHANGE" FROM WEST SITE DATA FOR ALL RESIDENTIAL OPTION

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
EAST SITE-
HOTEL AND RES.
DATA

DRAWING NO:
A-500

© Handel Architects LLP 2018

EAST SITE - HOTEL ALTERNATIVE

EAST SITE TREE CALCULATION	
PER LAMC SECTION 12.21 G.2 - MIN. 24" BOX TREE PER 4 UNITS REQUIRED	
TREES REQUIRED WITH 319 UNITS	79.75
TREES REQUIRED WITH 48 UNITS	12.00
TOTAL EAST SITE TREES REQUIRED	**92.00**
EAST SITE TREES PROVIDED:	108
EAST SITE STREET TREES PROVIDED:	14
TOTAL TREES PROVIDED	122

REFER TO LANDSCAPE SHEETS L-001 TO L-136 FOR ADDITIONAL INFORMATION

EAST SITE OPEN SPACE PROVIDED			
OUTDOOR COMMON OPEN SPACE			
LEVEL 1 VINE/ARGYLE STREET	22,300		
LEVEL 2 AMENITY DECK	8,200		
SENIOR AFFORDABLE ROOF DECK	4,800		
TOTAL OUTDOOR COMMON SPACE	**35,300**	**SF**	59.73%
REQUIRED OUTDOOR COMMON SPACE	*22,725*		
INDOOR AMENITY SPACES			
LEVEL 2 RESIDENTIAL AMENITY	6,500		
LEVEL 2 SENIOR AFFORDABLE AMENITY	1,656		
TOTAL INDOOR AMENITY SPACE	**8,156**	**SF**	13.80%
PRIVATE OPEN SPACE			
RESIDENTIAL BALCONIES	**15,644**	**SF**	26.47%
TOTAL OPEN SPACE PROVIDED	**59,100**	**SF**	100.00%
TOTAL OPEN SPACE REQUIRED	**45,450**	**SF**	

RESIDENTIAL OPEN SPACE SUMMARY		
	REQUIRED	**PROVIDED**
OPEN SPACE	**106,525**	**120,175**
PLANTING	**23,244**	**23,844**
TREES	**222**	**252**

EAST SITE OPEN SPACE REQUIRED			
EAST BUILDING			
UNIT TYPE(HABITABLE ROOMS)	NUMBER	RQ'D AREA/UNIT	RQ'D OPEN SPACE
1BR (2 Habitable Rooms)	117	100 SF	11,700 SF
2BR (3 Habitable Rooms)	132	125 SF	16,500 SF
3BR (4 Habitable Rooms)	70	175 SF	12,250 SF
TOTAL	319		**40,450 SF**
EAST SENIOR BUILDING			
UNIT TYPE(HABITABLE ROOMS)	NUMBER	RQ'D AREA/UNIT	RQ'D OPEN SPACE
1BR (2 Habitable Rooms)	40	100 SF	4,000 SF
2BR (3 Habitable Rooms)	8	125 SF	1,000 SF
3BR (4 Habitable Rooms)	0	175 SF	0 SF
TOTAL	48		**5,000 SF**

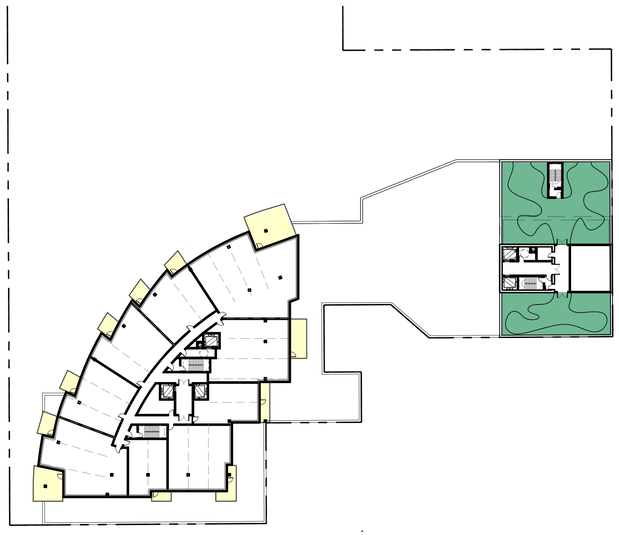
TOTAL 45,450 SF

PLANTING REQUIREMENT -	
25% OF OUTDOOR COMMON OPEN SPACE IS REQUIRED TO BE PLANTED	
= 35,300 sf + 8,500 sf = 43,800 sf x 25%	10,950 SF
LEVEL 1 PLANTING	2,100
LEVEL 2 AMENITY DECK PLANTING	5,810
SENIOR AFF. ROOF DECK PLANTING	2,540
TOTAL OPEN SPACE PLANTING PROVIDED	**10,450 * SF**

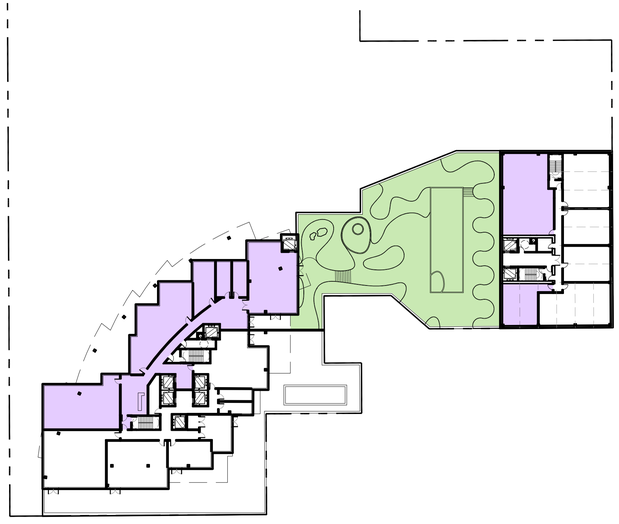
* NOTE: BALANCE OF 1,225 SF ON WEST SITE

Total required both sites	23,244
Total provided both sites	23,844

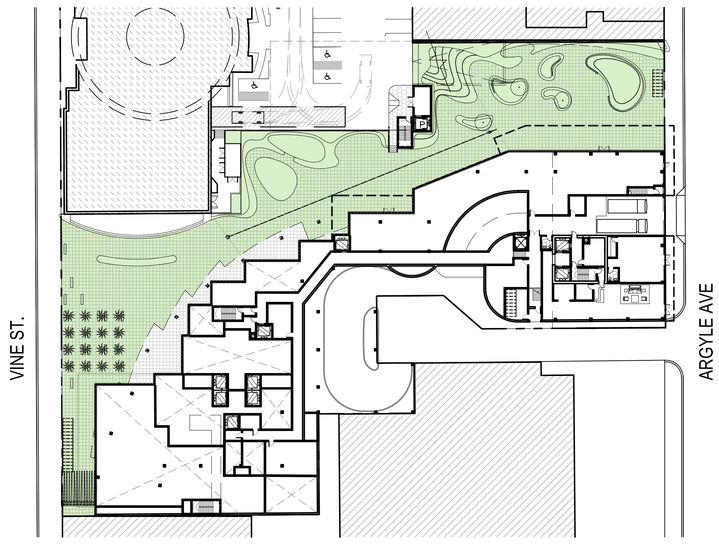
LEGEND
- INDOOR AMENITY SPACE
- OUTDOOR COMMON SPACE
- SENIOR OUTDOOR COMMON SPACE
- BALCONY/TERRACE SPACE



SENIOR AFFORDABLE ROOF PLAN (3)
SCALE: NTS



LEVEL 2 AMENITY DECK (2)
SCALE: NTS



GROUND LEVEL PLAN (1)
SCALE: NTS

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

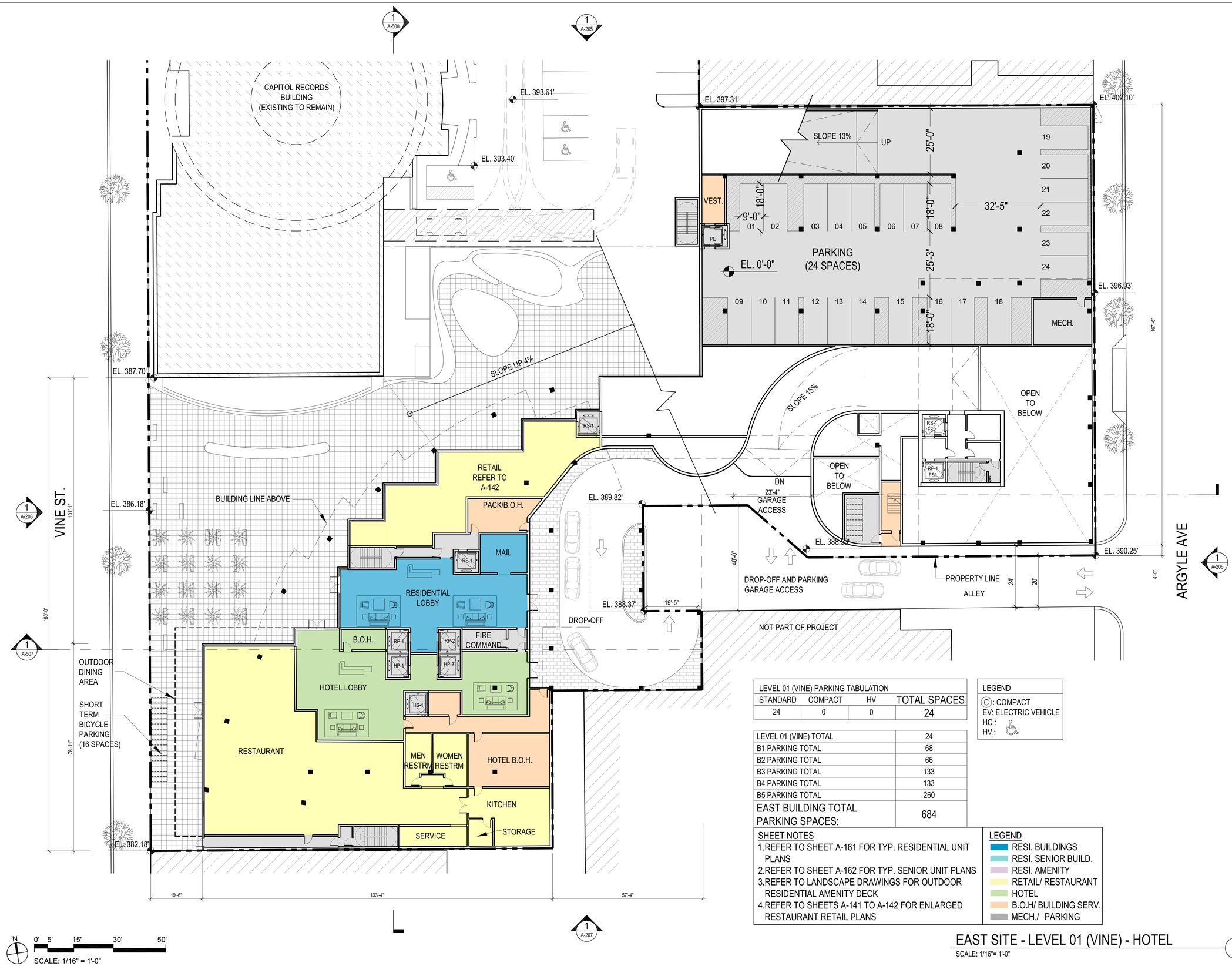
KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
EAST SITE-
HOTEL AND RES
- OPEN SPACE

DRAWING NO:
A-501

© Handel Architects LLP 2018



LEVEL 01 (VINE) PARKING TABULATION			
STANDARD	COMPACT	HV	TOTAL SPACES
24	0	0	24

LEVEL 01 (VINE) TOTAL	24
B1 PARKING TOTAL	68
B2 PARKING TOTAL	66
B3 PARKING TOTAL	133
B4 PARKING TOTAL	133
B5 PARKING TOTAL	260
EAST BUILDING TOTAL PARKING SPACES:	684

LEGEND
(C): COMPACT
EV: ELECTRIC VEHICLE
HC :
HV :

SHEET NOTES
1. REFER TO SHEET A-161 FOR TYP. RESIDENTIAL UNIT PLANS
2. REFER TO SHEET A-162 FOR TYP. SENIOR UNIT PLANS
3. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
4. REFER TO SHEETS A-141 TO A-142 FOR ENLARGED RESTAURANT RETAIL PLANS

LEGEND
- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- HOTEL
- B.O.H/ BUILDING SERV.
- MECH./ PARKING

N
0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

EAST SITE - LEVEL 01 (VINE) - HOTEL

SCALE: 1/16"= 1'-0"

1

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

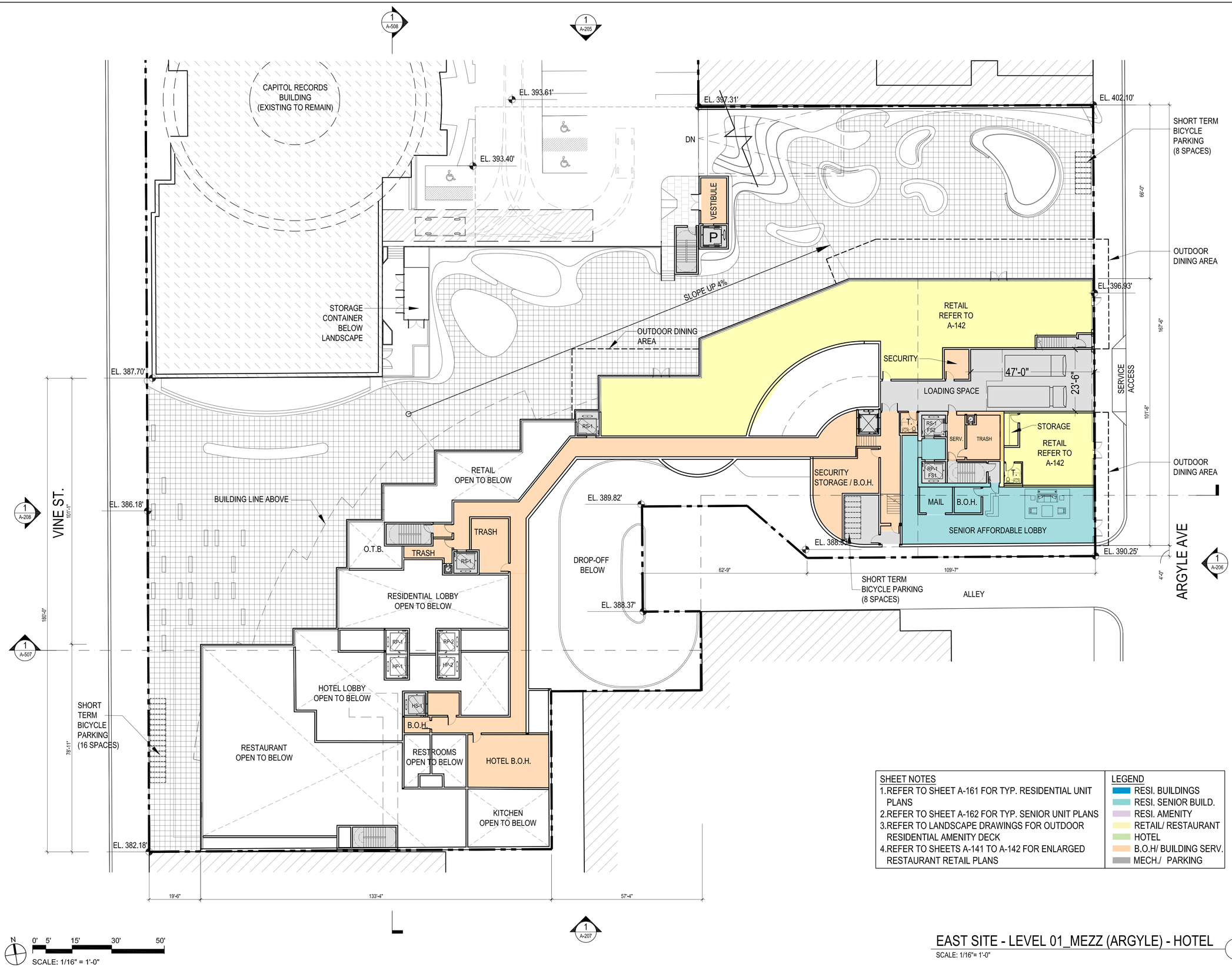
KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
EAST SITE-
LEVEL 01 (VINE)

DRAWING NO:
A-502

© Handel Architects LLP 2018



SHEET NOTES	LEGEND
1.REFER TO SHEET A-161 FOR TYP. RESIDENTIAL UNIT PLANS	RESI. BUILDINGS
2.REFER TO SHEET A-162 FOR TYP. SENIOR UNIT PLANS	RESI. SENIOR BUILD.
3.REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK	RESI. AMENITY
4.REFER TO SHEETS A-141 TO A-142 FOR ENLARGED RESTAURANT RETAIL PLANS	RETAIL/ RESTAURANT
	HOTEL
	B.O.H/ BUILDING SERV.
	MECH./ PARKING

N 0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

EAST SITE - LEVEL 01_MEZZ (ARGYLE) - HOTEL 1
SCALE: 1/16"= 1'-0"

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

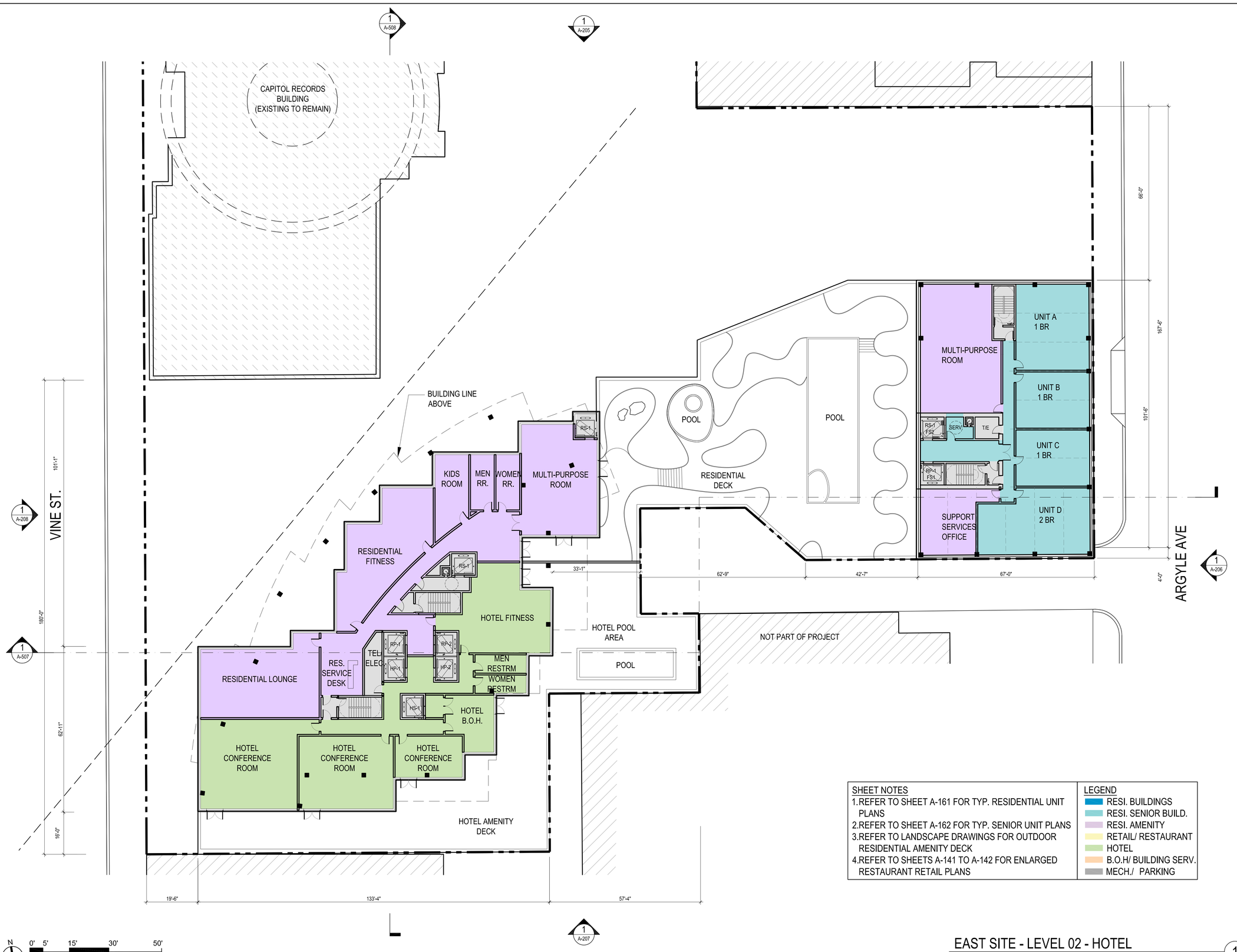
KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
EAST SITE-
LEVEL 01_MEZZ
(ARGYLE)

DRAWING NO:
A-503

© Handel Architects LLP 2018



SHEET NOTES	LEGEND
1. REFER TO SHEET A-161 FOR TYP. RESIDENTIAL UNIT PLANS	RESI. BUILDINGS
2. REFER TO SHEET A-162 FOR TYP. SENIOR UNIT PLANS	RESI. SENIOR BUILD.
3. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK	RESI. AMENITY
4. REFER TO SHEETS A-141 TO A-142 FOR ENLARGED RESTAURANT RETAIL PLANS	RETAIL/ RESTAURANT
	HOTEL
	B.O.H/ BUILDING SERV.
	MECH./ PARKING

N
0' 5' 15' 30' 50'
SCALE: 1/16" = 1'-0"

EAST SITE - LEVEL 02 - HOTEL

SCALE: 1/16"= 1'-0"

1

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

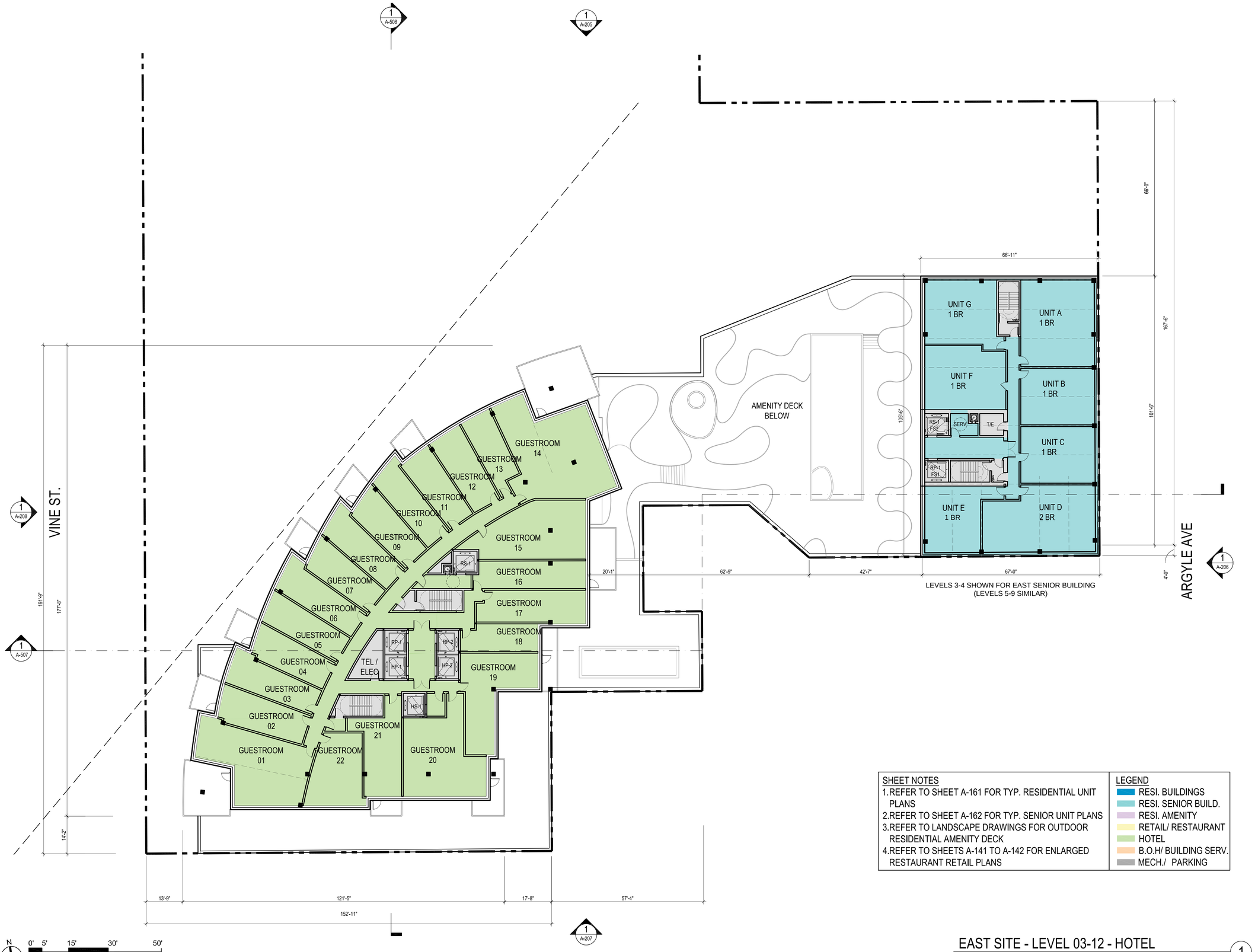
DRAWING TITLE:

EAST SITE-
LEVEL 02

DRAWING NO:

A-504

© Handel Architects LLP 2018



SHEET NOTES

1. REFER TO SHEET A-161 FOR TYP. RESIDENTIAL UNIT PLANS
2. REFER TO SHEET A-162 FOR TYP. SENIOR UNIT PLANS
3. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
4. REFER TO SHEETS A-141 TO A-142 FOR ENLARGED RESTAURANT RETAIL PLANS

LEGEND

- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- HOTEL
- B.O.H/ BUILDING SERV.
- MECH./ PARKING

EAST SITE - LEVEL 03-12 - HOTEL

SCALE: 1/16"= 1'-0"

1

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

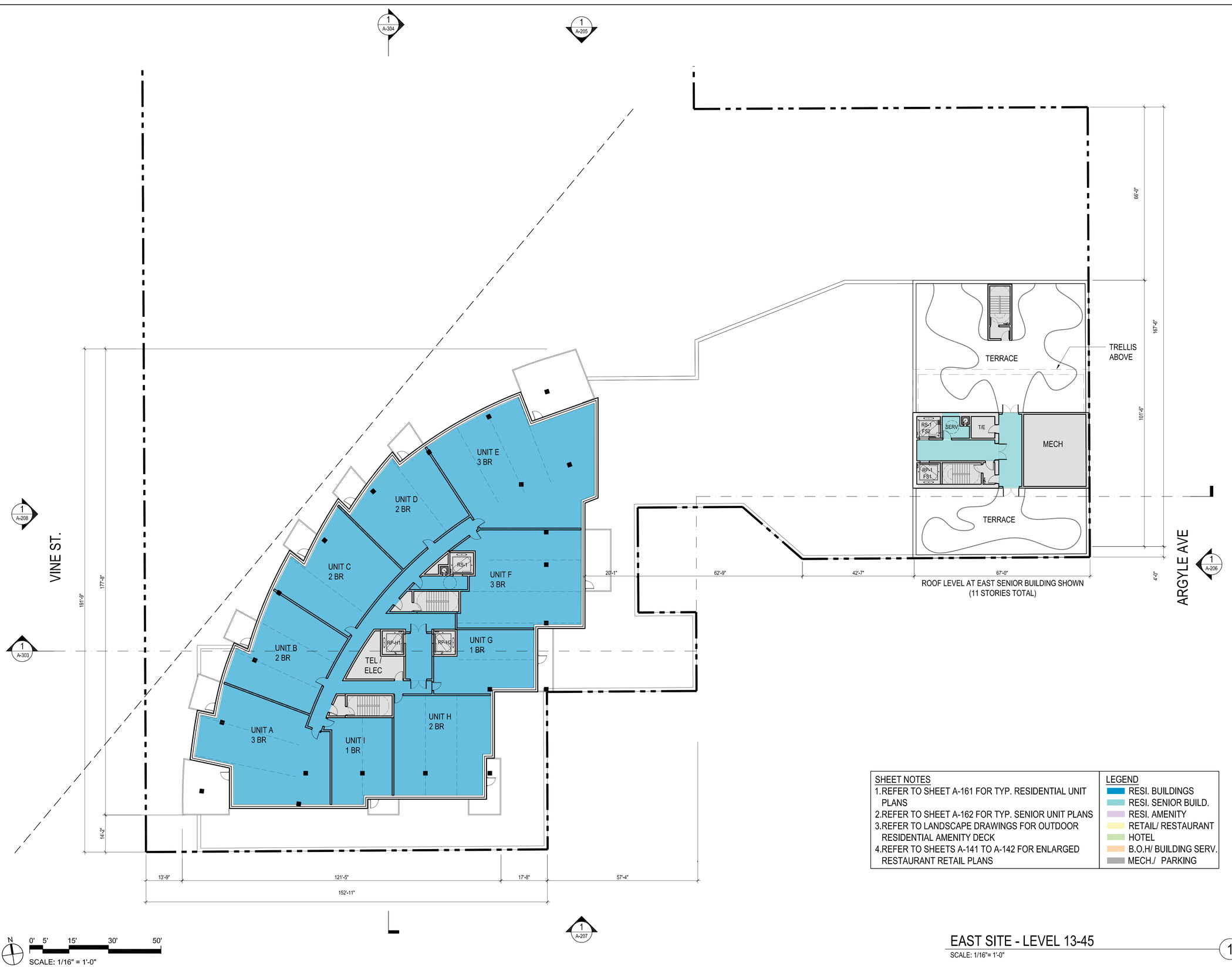
DRAWING TITLE:

EAST SITE-
LEVEL 03-12
(GUESTROOMS)

DRAWING NO:

A-505

© Handel Architects LLP 2018



SHEET NOTES

1. REFER TO SHEET A-161 FOR TYP. RESIDENTIAL UNIT PLANS
2. REFER TO SHEET A-162 FOR TYP. SENIOR UNIT PLANS
3. REFER TO LANDSCAPE DRAWINGS FOR OUTDOOR RESIDENTIAL AMENITY DECK
4. REFER TO SHEETS A-141 TO A-142 FOR ENLARGED RESTAURANT RETAIL PLANS

LEGEND

- RESI. BUILDINGS
- RESI. SENIOR BUILD.
- RESI. AMENITY
- RETAIL/ RESTAURANT
- HOTEL
- B.O.H/ BUILDING SERV.
- MECH./ PARKING

EAST SITE - LEVEL 13-45

SCALE: 1/16"= 1'-0"

1

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

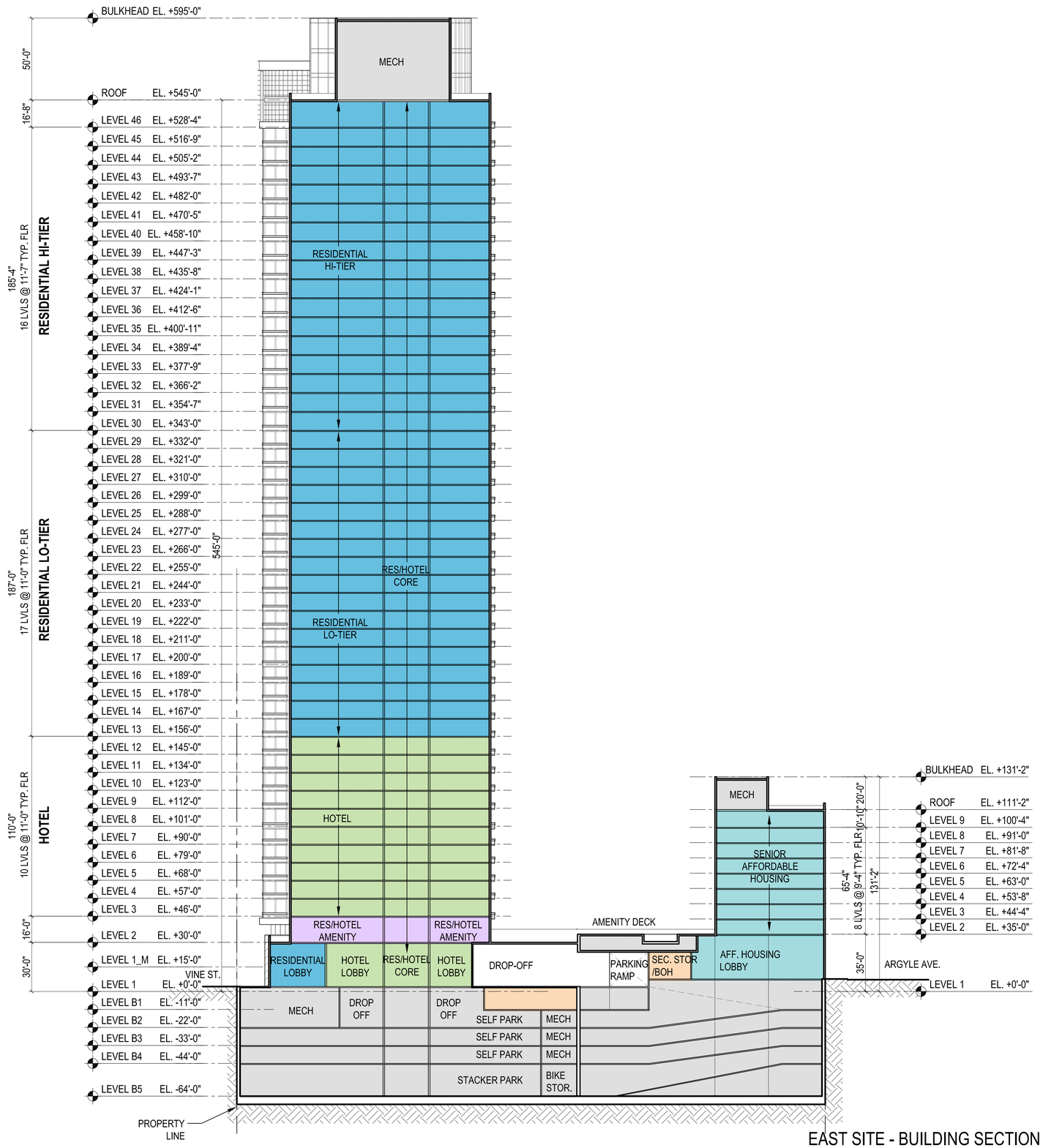
DRAWING TITLE:

EAST SITE -
LEVEL 13-45

DRAWING NO:

A-506

© Handel Architects LLP 2018



EAST SITE - BUILDING SECTION E-W_ HOTEL (1)

SCALE: 1/32"= 1'-0"

N

0' 10' 30' 60' 100'

SCALE: 1/32" = 1'-0"

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

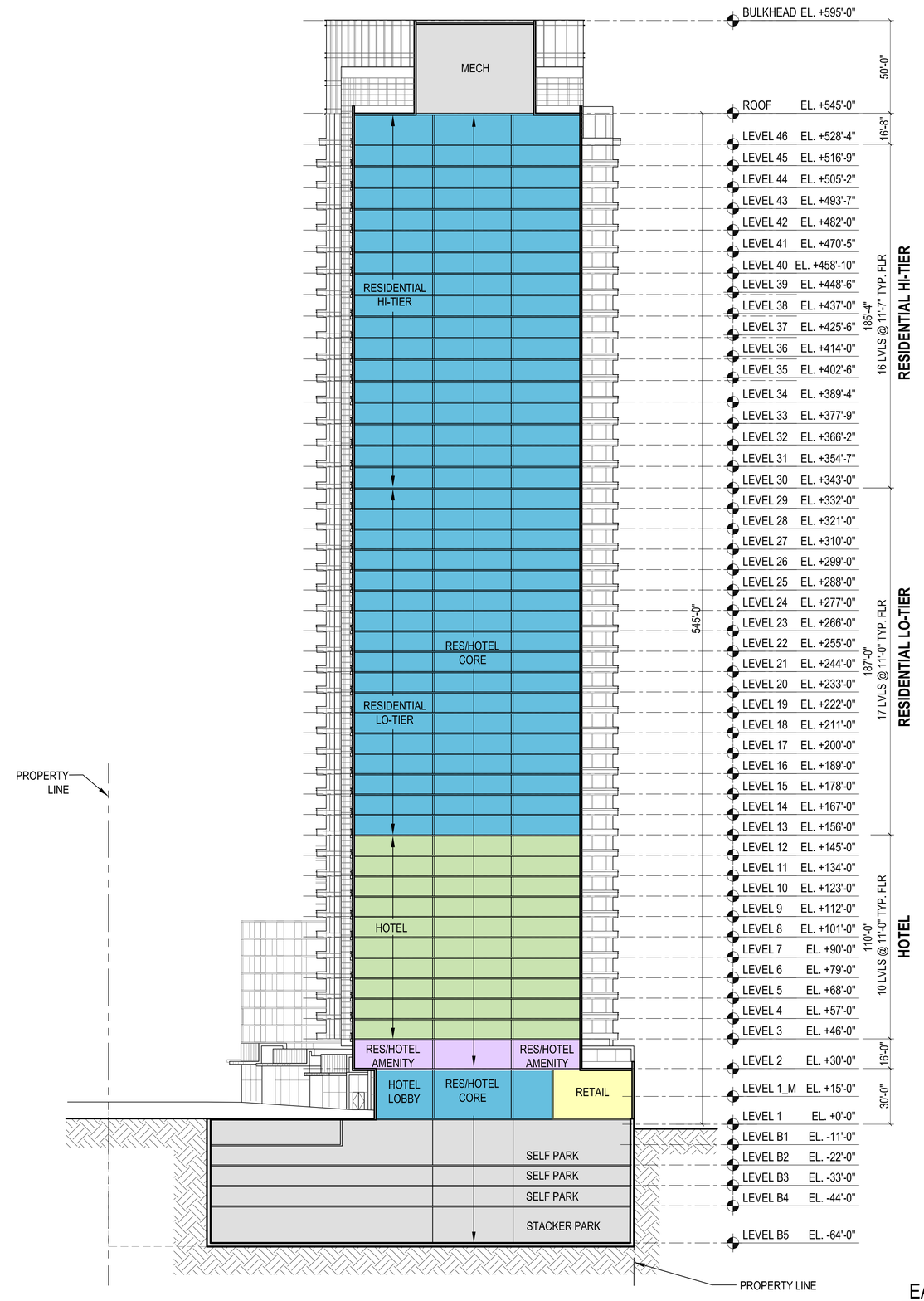
DRAWING TITLE:

EAST SITE-
BUILDING
SECTION E-W

DRAWING NO:

A-507

© Handel Architects LLP 2018



N

0' 10' 30' 60' 100'

SCALE: 1/32" = 1'-0"

EAST SITE - BUILDING SECTION N-S_ HOTEL (1)

SCALE: 1/32"= 1'-0"

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN

SCALE: AS INDICATED

PROJECT NO: 1350

SEAL & SIGNATURE

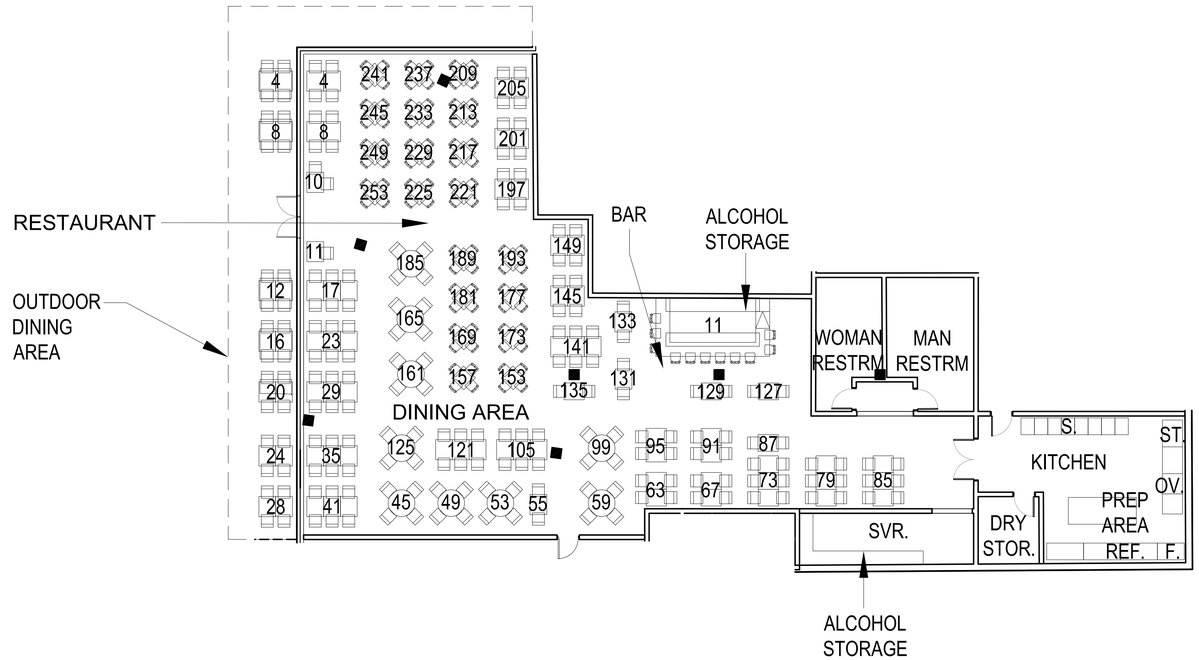
DRAWING TITLE:

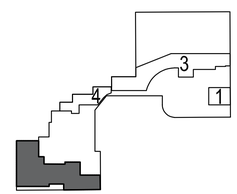
EAST SITE-
BUILDING
SECTION N-S

DRAWING NO:

A-508

© Handel Architects LLP 2018





PROGRAM AREA	HOTEL RESTAURANT
INDOOR DINING AREA	4221 SF
OUTDOOR AREA	390 SF
TOTAL INDOOR AREA	5775 SF
INDOOR SEATING	264
OUTDOOR SEATING	28
TOTAL SEATING	292

SHEET NOTE
1. REFER TO SHEET A-142 FOR ENLARGED RESTAURANT RETAIL PLANS FOR 1, 3, & 4.

N 0' 4' 8' 16' 32'
SCALE: 3/32" = 1'-0"

ENLARGED PLAN_HOTEL RESTAURANT AT EAST SITE (1)
SCALE: 3/32"= 1'-0"

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

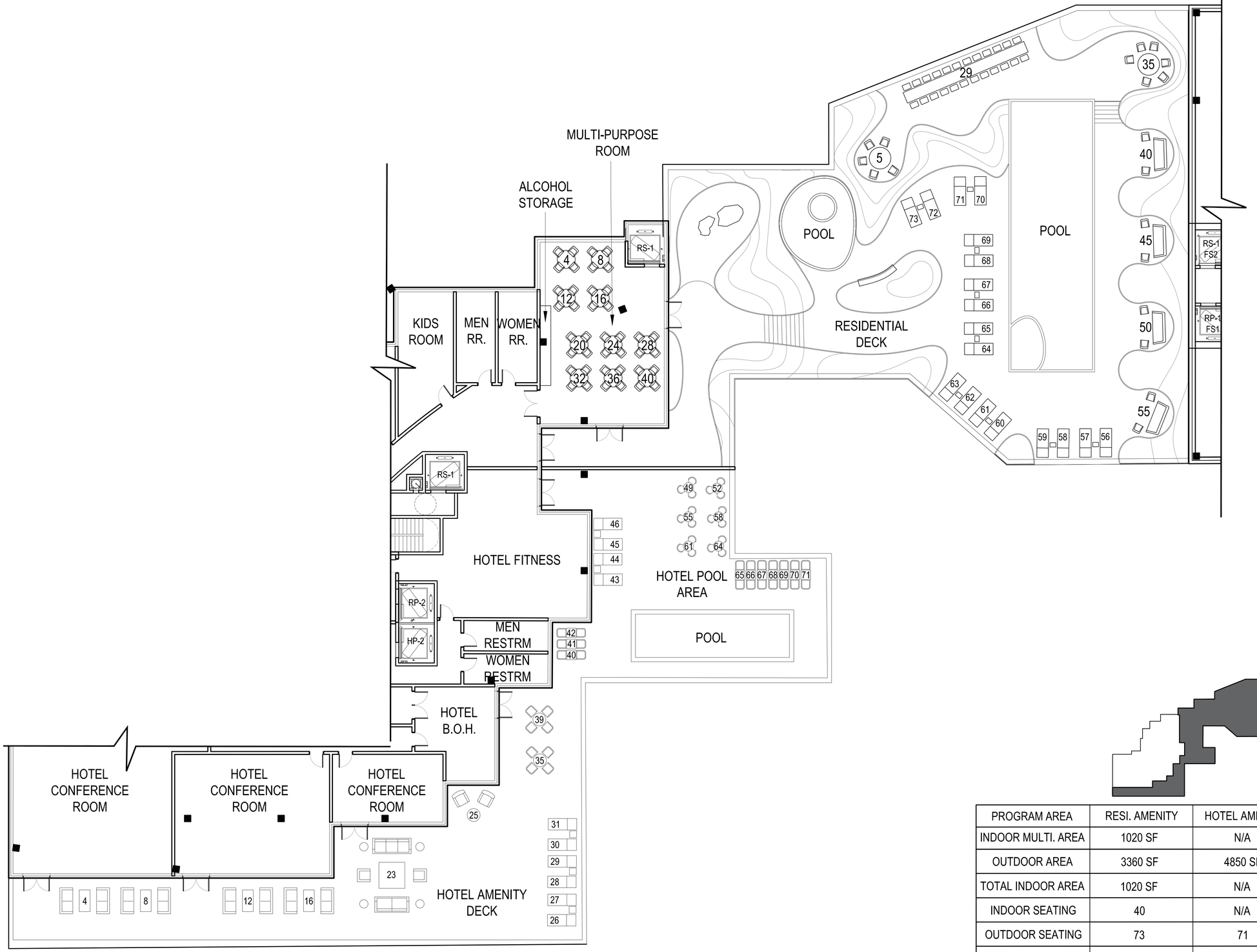
KEY PLAN

SCALE: AS INDICATED
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
EAST SITE - ENLARGED RETAIL PLAN

DRAWING NO:
A-509

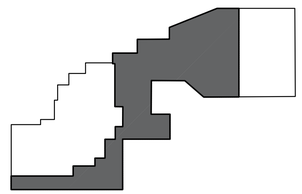
© Handel Architects LLP 2018



N

0' 4' 8' 16' 32'

SCALE: 3/32" = 1'-0"



PROGRAM AREA	RESI. AMENITY	HOTEL AMENITY
INDOOR MULTI. AREA	1020 SF	N/A
OUTDOOR AREA	3360 SF	4850 SF
TOTAL INDOOR AREA	1020 SF	N/A
INDOOR SEATING	40	N/A
OUTDOOR SEATING	73	71
TOTAL SEATING	113	71

ENLARGED PLAN_HOTEL AMENITY DECK AT EAST SITE (1)

SCALE: 3/32"= 1'-0"

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

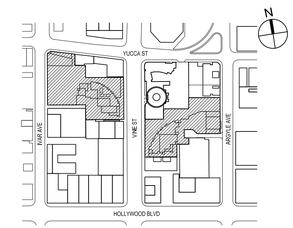
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT SUBMISSION

KEY PLAN



SCALE: AS INDICATED

PROJECT NO: 1350

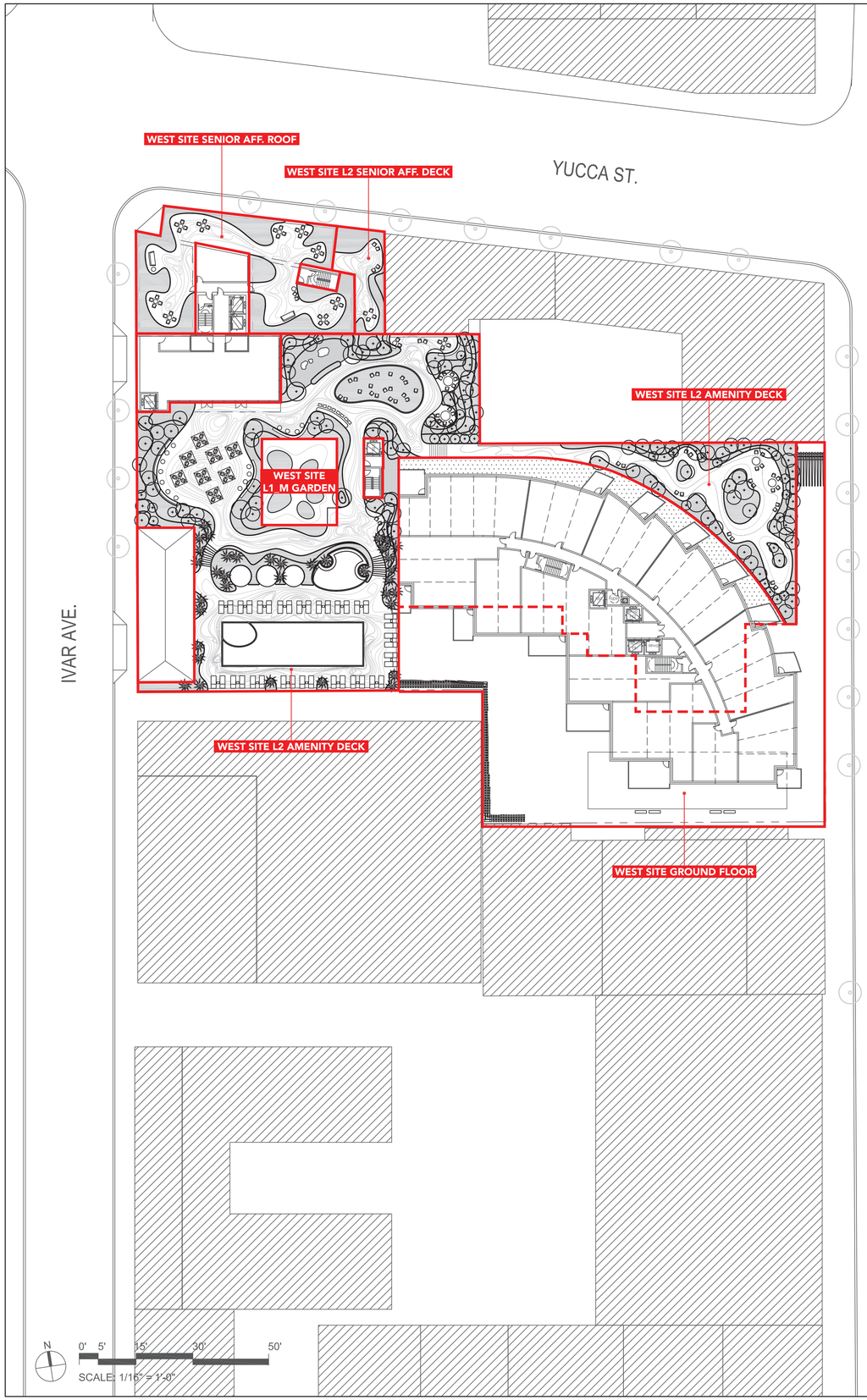
SEAL & SIGNATURE

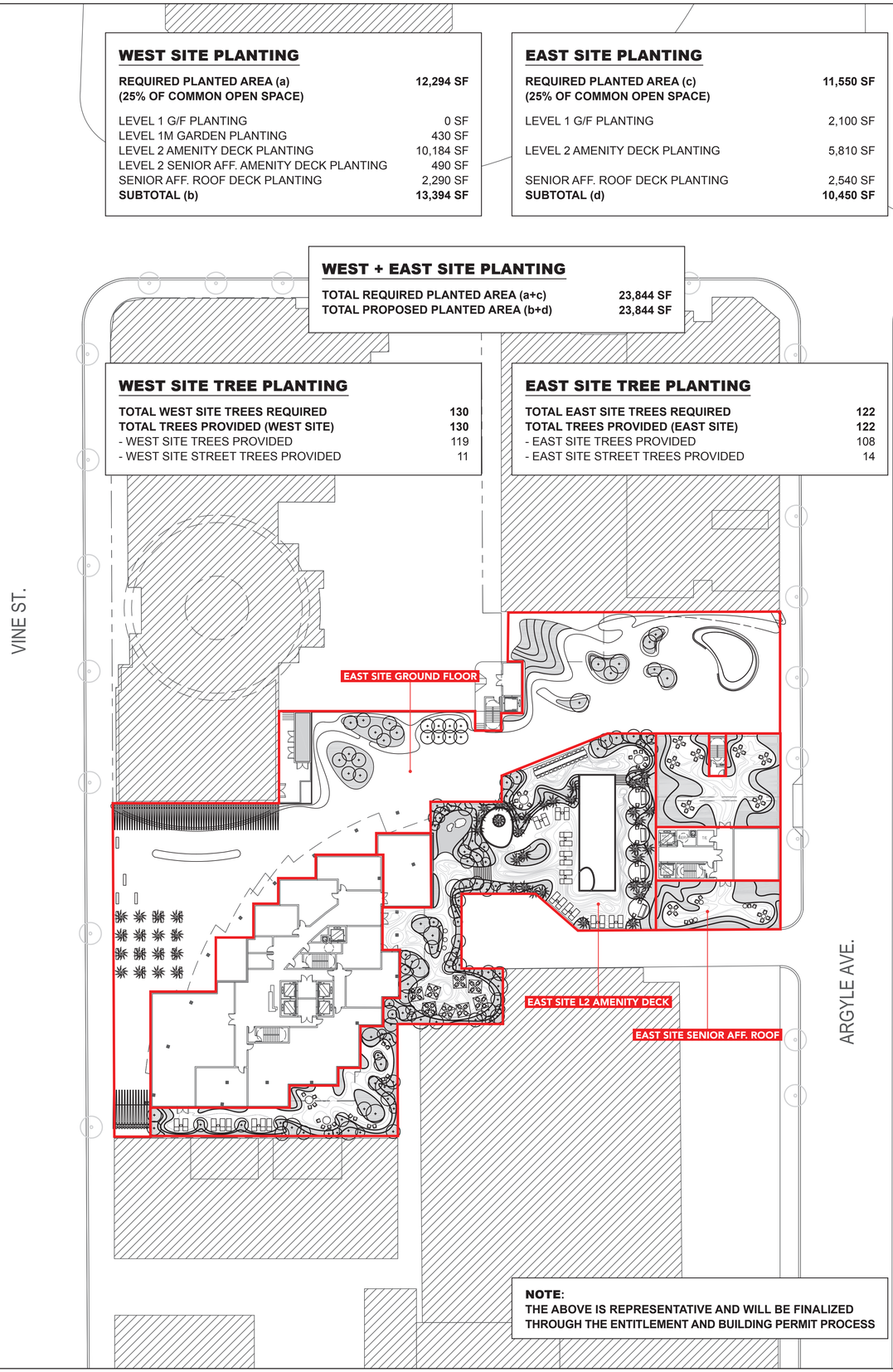
DRAWING TITLE:
EAST SITE - ENLARGED AMENITY DECK PLAN

DRAWING NO:

A-510

© Handel Architects LLP 2018





WEST SITE PLANTING

REQUIRED PLANTED AREA (a) (25% OF COMMON OPEN SPACE)	**12,294 SF**
LEVEL 1 G/F PLANTING	0 SF
LEVEL 1M GARDEN PLANTING	430 SF
LEVEL 2 AMENITY DECK PLANTING	10,184 SF
LEVEL 2 SENIOR AFF. AMENITY DECK PLANTING	490 SF
SENIOR AFF. ROOF DECK PLANTING	2,290 SF
SUBTOTAL (b)	**13,394 SF**

EAST SITE PLANTING

REQUIRED PLANTED AREA (c) (25% OF COMMON OPEN SPACE)	**11,550 SF**
LEVEL 1 G/F PLANTING	2,100 SF
LEVEL 2 AMENITY DECK PLANTING	5,810 SF
SENIOR AFF. ROOF DECK PLANTING	2,540 SF
SUBTOTAL (d)	**10,450 SF**

WEST + EAST SITE PLANTING

TOTAL REQUIRED PLANTED AREA (a+c)	**23,844 SF**
TOTAL PROPOSED PLANTED AREA (b+d)	**23,844 SF**

WEST SITE TREE PLANTING

TOTAL WEST SITE TREES REQUIRED	**130**
TOTAL TREES PROVIDED (WEST SITE)	**130**
- WEST SITE TREES PROVIDED	119
- WEST SITE STREET TREES PROVIDED	11

EAST SITE TREE PLANTING

TOTAL EAST SITE TREES REQUIRED	**122**
TOTAL TREES PROVIDED (EAST SITE)	**122**
- EAST SITE TREES PROVIDED	108
- EAST SITE STREET TREES PROVIDED	14

NOTE:
THE ABOVE IS REPRESENTATIVE AND WILL BE FINALIZED THROUGH THE ENTITLEMENT AND BUILDING PERMIT PROCESS

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT ISSUE

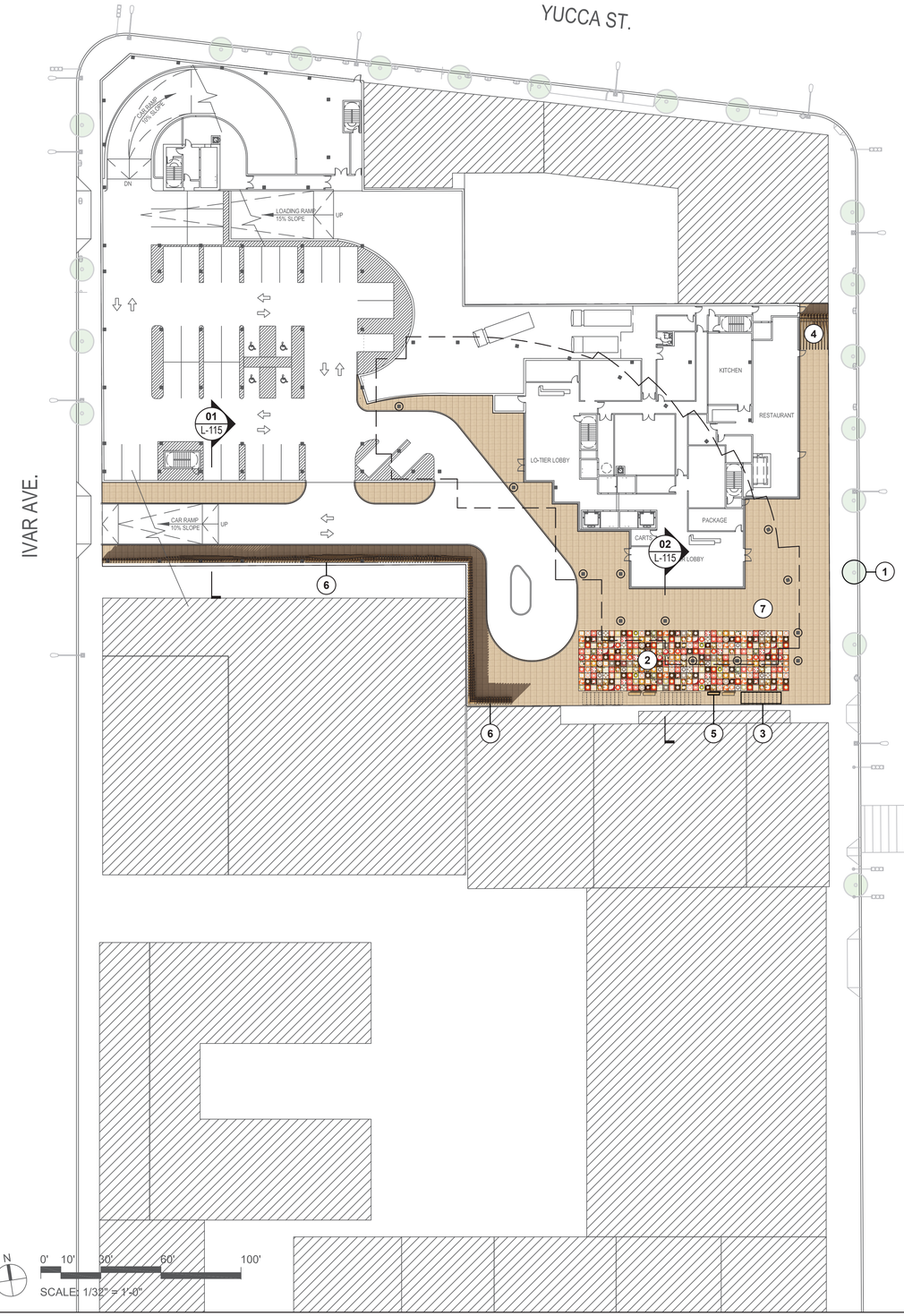
KEY PLAN

SCALE: 1/32" = 1'-0"
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
OVERALL LANDSCAPE SITE PLAN

DRAWING NO:
L-001

© Handel Architects LLP 2018



G/F TOTAL PLANTED AREA:	**2,100 SF** 0 (WEST) + 2,100 (EAST)
G/F TOTAL TREES PROVIDED:	**27 (+ 25 STREET TREES)**

LEGEND

1. STREET TREES (TBD)
2. INTERACTIVE FLOOR
3. BICYCLE PARKING (62 SHORT TERM BIKE PARKING)
4. TRELLIS SEATING
5. BENCH
6. ARCADE WALL W/ PLANTING
7. MODULAR PAVER
8. NAT KING COLE STAGE
9. PALM GROVE
10. BIKE SHOP
11. BEATLES GARDEN
12. SINATRA LOUNGE
13. OUTDOOR LIBRARY
14. OUTDOOR FIREPLACE
15. GREEN ROOF

NOTE:
THE ABOVE IS REPRESENTATIVE AND WILL BE FINALIZED THROUGH THE ENTITLEMENT AND BUILDING PERMIT PROCESS

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

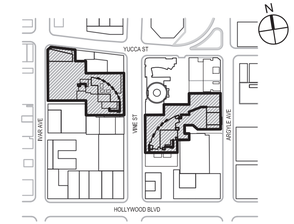
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	**ENTITLEMENT ISSUE**

KEY PLAN



SCALE: 1/32" = 1'-0"
PROJECT NO: 1350
SEAL & SIGNATURE

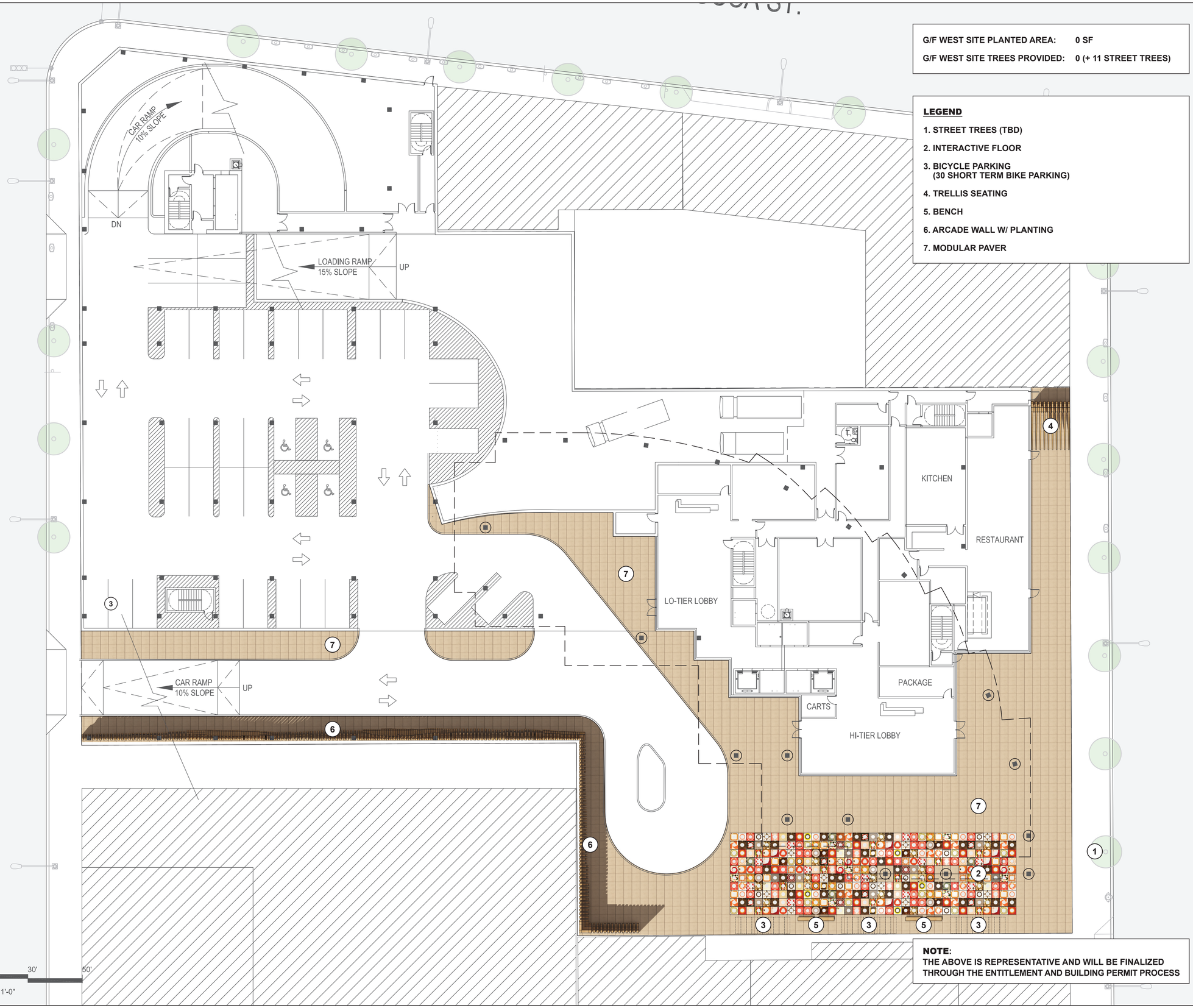
DRAWING TITLE:

OVERALL GROUND FLOOR SITE PLAN

DRAWING NO:

L-101

© Handel Architects LLP 2018



G/F WEST SITE PLANTED AREA:	**0 SF**
G/F WEST SITE TREES PROVIDED:	**0 (+ 11 STREET TREES)**

LEGEND

1. **STREET TREES (TBD)**
2. **INTERACTIVE FLOOR**
3. **BICYCLE PARKING (30 SHORT TERM BIKE PARKING)**
4. **TRELLIS SEATING**
5. **BENCH**
6. **ARCADE WALL W/ PLANTING**
7. **MODULAR PAVER**

NOTE:
THE ABOVE IS REPRESENTATIVE AND WILL BE FINALIZED THROUGH THE ENTITLEMENT AND BUILDING PERMIT PROCESS

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	**ENTITLEMENT ISSUE**

KEY PLAN

SCALE: 1/16" = 1'-0"
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:

WEST SITE GROUND FLOOR PLAN

DRAWING NO:

L-102

© Handel Architects LLP 2018

VINE ST.

G/F EAST SITE PLANTED AREA:	2,100 SF
G/F EAST SITE TREES PROVIDED:	27 (+ 14 STREET TREES)

RESTAURANT

RESTAURANT

BAR

KITCHEN

RESTAURANT

MAIL

RS-1

HI-TIER LOBBY

RP-H1

RP-H2

RP-L1

RP-L2

LO-TIER LOBBY

RESTAURANT

N

0' 5' 15' 30' 50'

SCALE: 1/16" = 1'-0"

LEGEND

1. STREET TREES (TBD)
2. NAT KING COLE STAGE
3. PALM GROVE
4. BICYCLE PARKING (32 SHORT TERM BIKE PARKING)
5. BIKE SHOP
6. BEATLES GARDEN
7. SINATRA LOUNGE
8. OUTDOOR LIBRARY
9. OUTDOOR FIREPLACE
10. GREEN ROOF

NOTE:
THE ABOVE IS REPRESENTATIVE AND WILL BE FINALIZED THROUGH THE ENTITLEMENT AND BUILDING PERMIT PROCESS

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

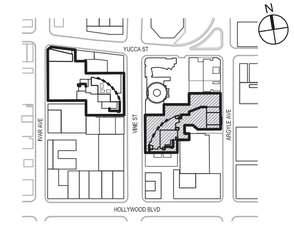
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT ISSUE

KEY PLAN



SCALE: 1/16" = 1'-0"

PROJECT NO: 1350

SEAL & SIGNATURE

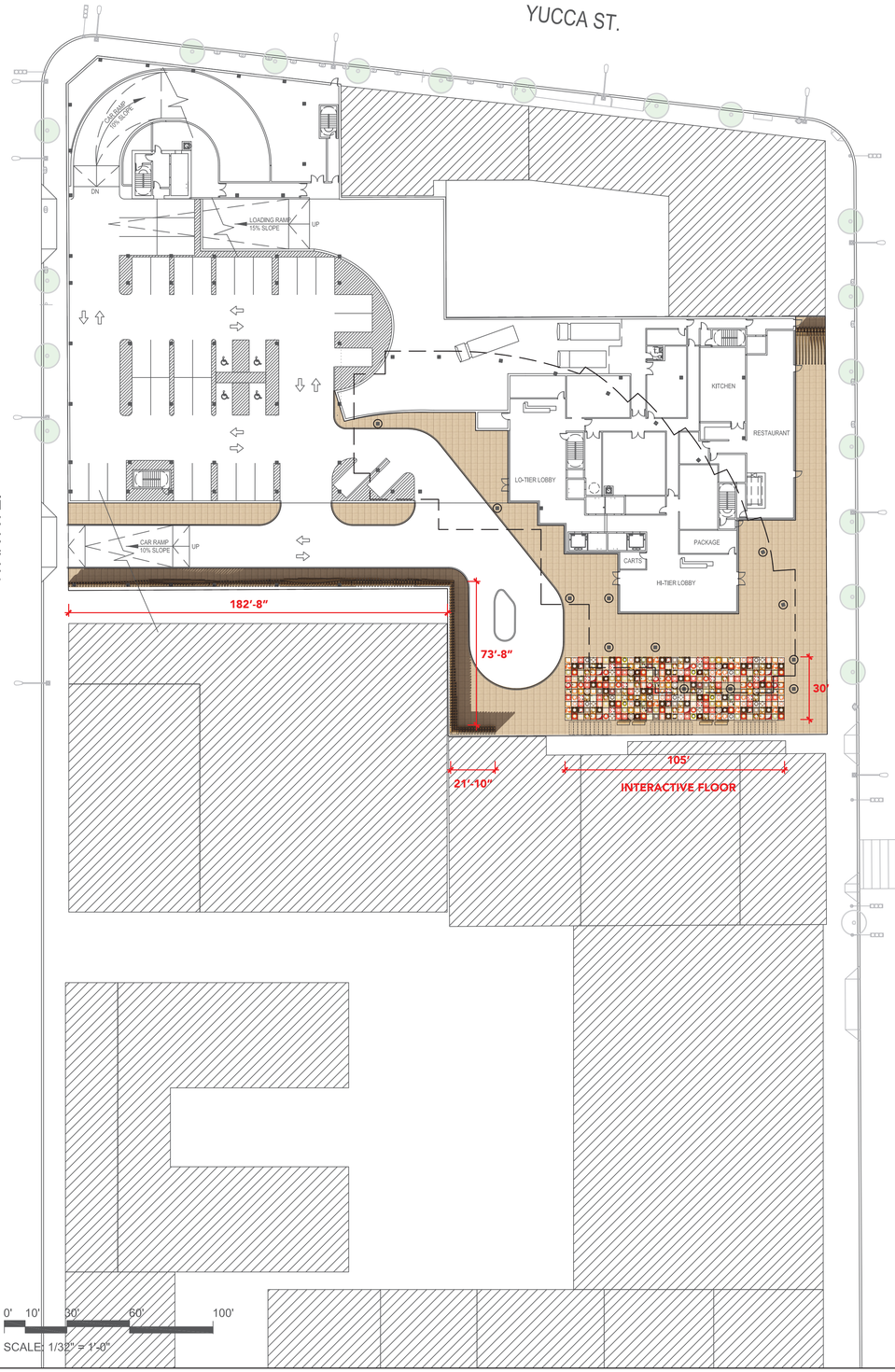
DRAWING TITLE:

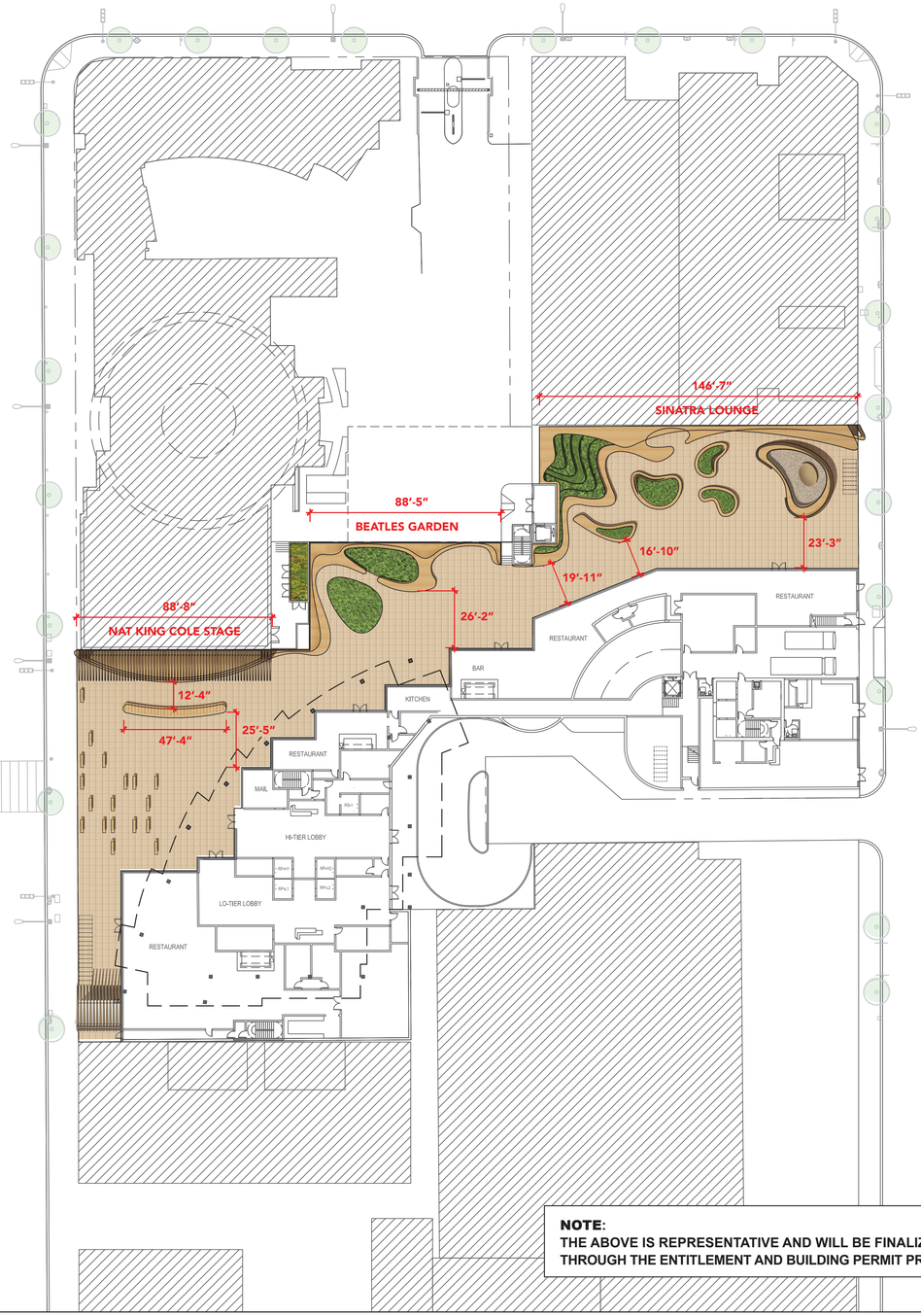
EAST SITE GROUND FLOOR PLAN

DRAWING NO:

L-103

© Handel Architects LLP 2018





NOTE:
THE ABOVE IS REPRESENTATIVE AND WILL BE FINALIZED THROUGH THE ENTITLEMENT AND BUILDING PERMIT PROCESS

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

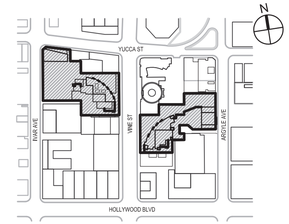
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	**ENTITLEMENT ISSUE**

KEY PLAN



SCALE: 1/32" = 1'-0"
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:

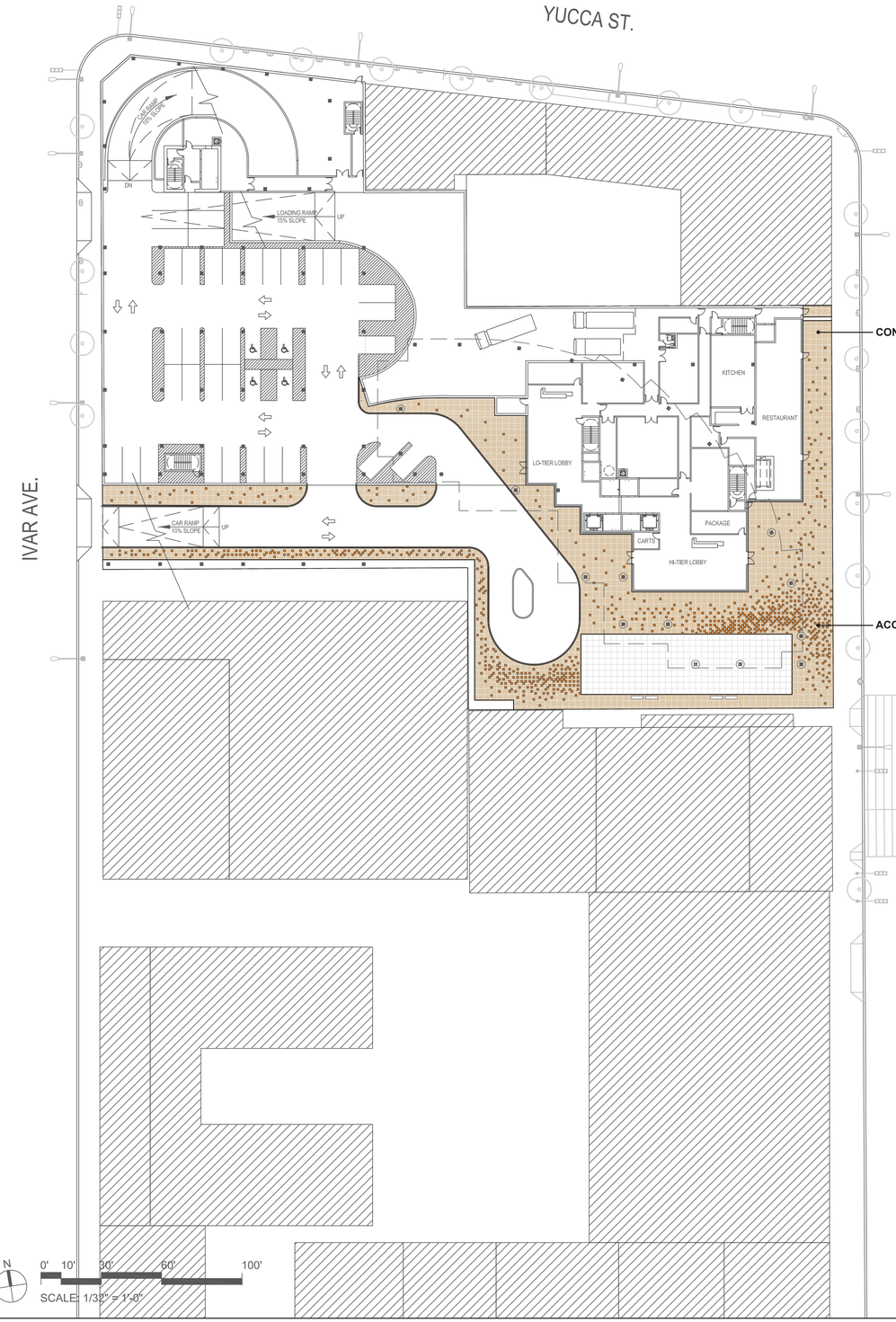
OVERALL GROUND FLOOR LAYOUT PLAN

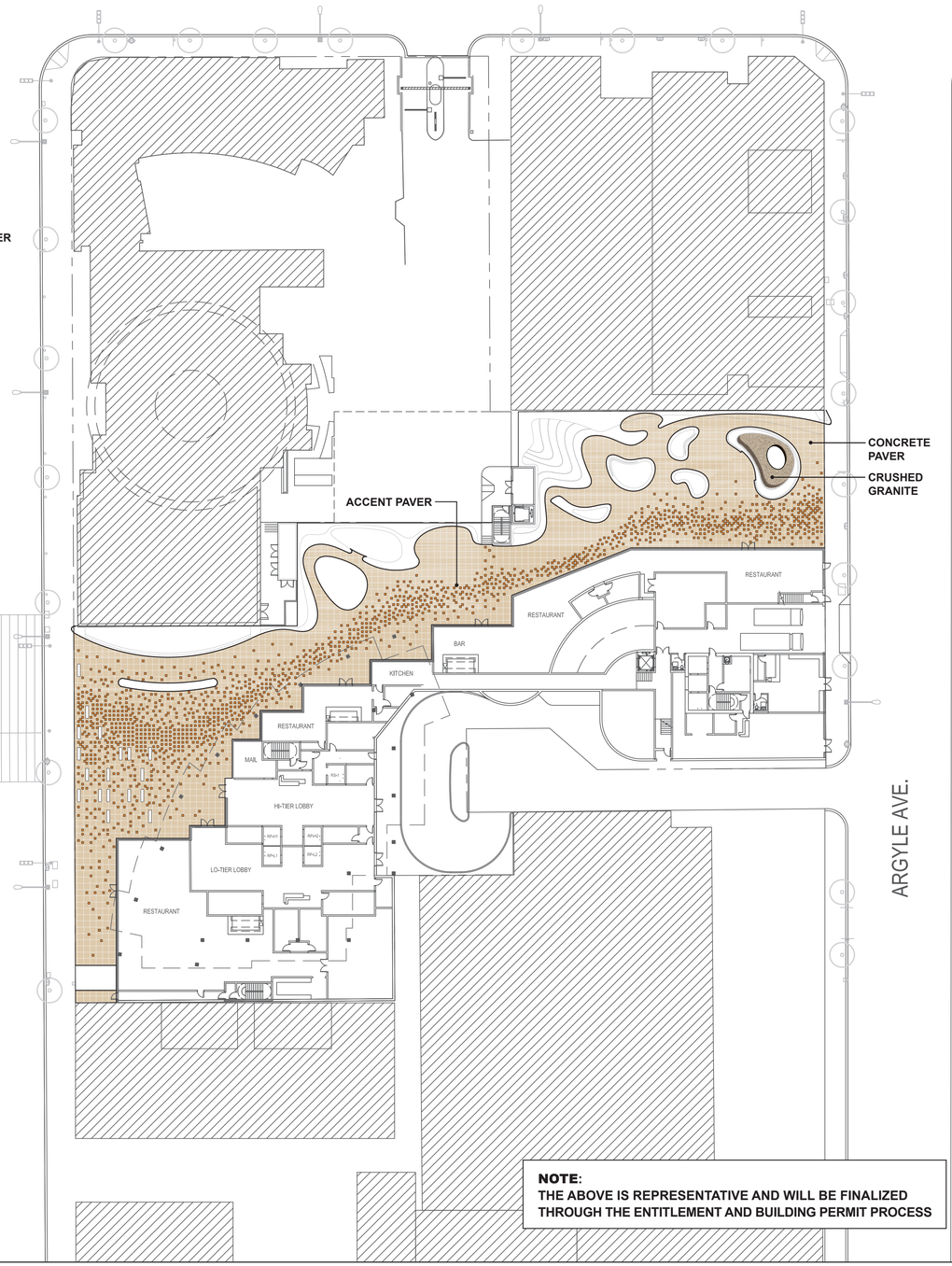
DRAWING NO:

L-111

© Handel Architects LLP 2018

SYM	ITEM	QTY
	CONCRETE UNIT PAVER	34,900 SF
	CONCRETE ACCENT PAVER	2,365 PIECES
	CRUSHED GRANITE	440 SF





NOTE:
THE ABOVE IS REPRESENTATIVE AND WILL BE FINALIZED THROUGH THE ENTITLEMENT AND BUILDING PERMIT PROCESS

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT ISSUE

KEY PLAN

SCALE: 1/32" = 1'-0"
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:

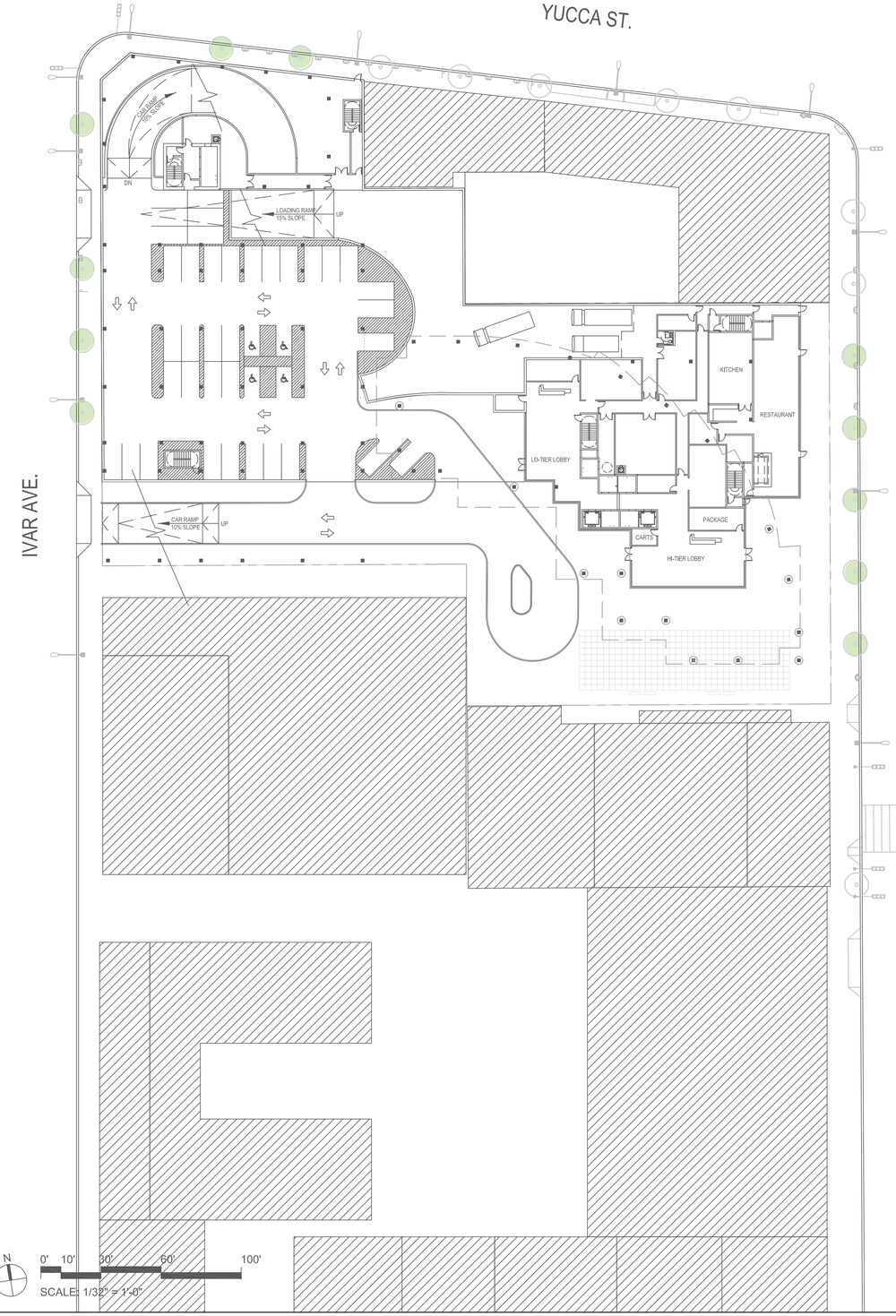
OVERALL
GROUND FLOOR
MATERIAL PLAN

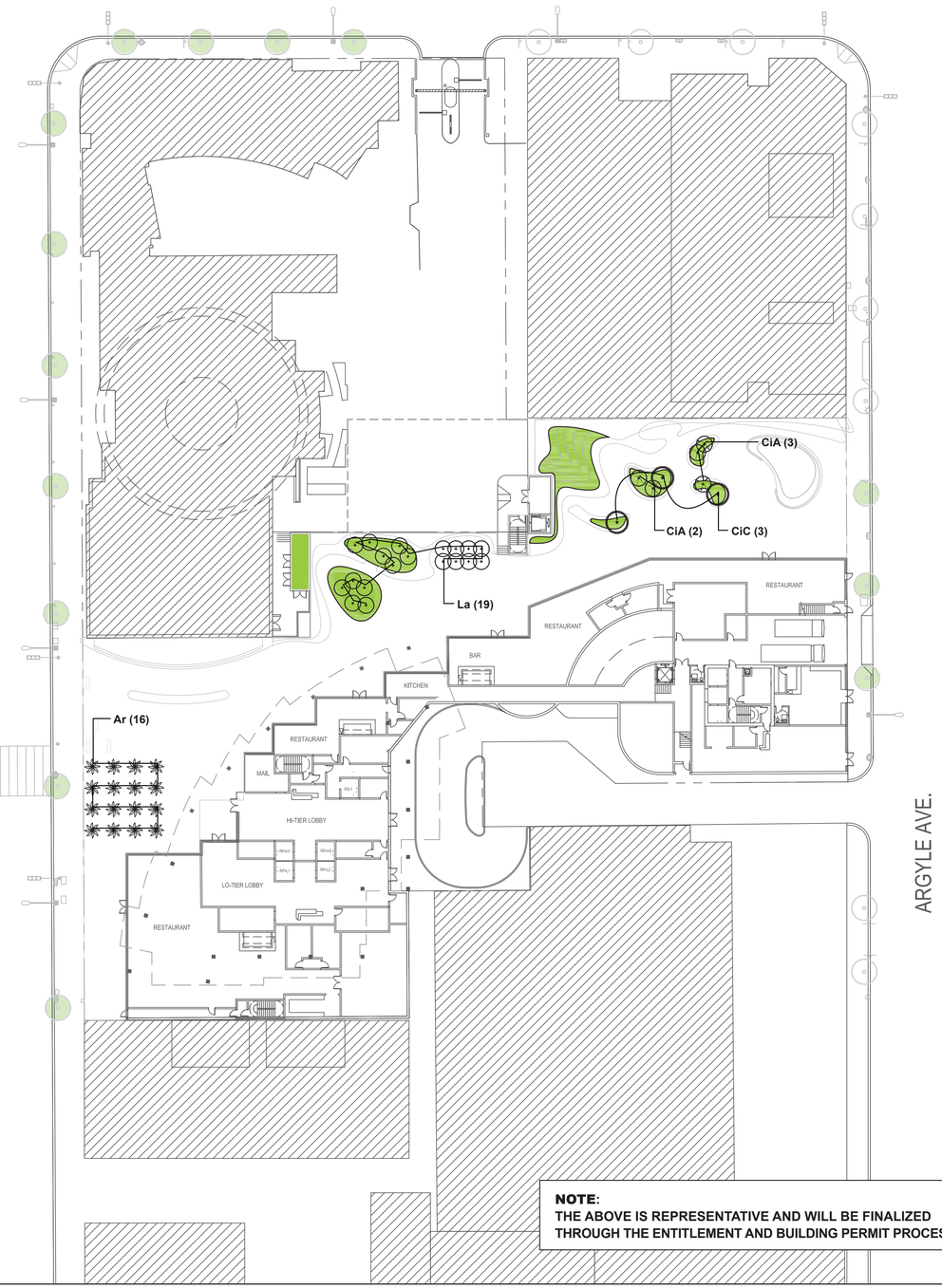
DRAWING NO:

L-112

© Handel Architects LLP 2018

SYM	KEY	COMMON NAME	BOTANICAL NAME	QTY
	-	PERENNIAL PLANTING	SPECIES T.B.D.	2,100 SF
	-	STREET TREE	SPECIES T.B.D.	25 (T.B.D.)
	CiA	KEY LIME	*Citrus × aurantiifolia*	5
	La	CRAPE MYRTLE	*Lagerstroemia indica*	19
	CiC	CAMPHOR TREE	*Cinnamomum camphora*	3
	Ar	KING PALM	*Archontophoenix alexandrae*	16





N
0' 10' 30' 60' 100'
SCALE: 1/32" = 1'-0"

NOTE:
THE ABOVE IS REPRESENTATIVE AND WILL BE FINALIZED THROUGH THE ENTITLEMENT AND BUILDING PERMIT PROCESS

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT ISSUE

KEY PLAN

SCALE: 1/32" = 1'-0"
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
OVERALL GROUND FLOOR PLANTING PLAN

DRAWING NO:
L-113

© Handel Architects LLP 2018

PERENNIAL REFERENCE IMGAES

SILVER WORMWOOD
Artemisia ludoviciana

COMMON YARROW
Achillea millefolium

REDFLOWER BUCKWHEAT
Eriogonum grande

APRICOT MALLOW
Sphaeralcea ambigua

STICKY MONKEY FLOWER
Mimulus aurantiacus

WOOLLY BLUECURLS
Trichostema lanatum

WINIFRED GILMAN SAGE
Salvia clevelandii 'Winifred Gilman'

DEER GRASS
Muhlenbergia rigens

CALIFORNIA BUCKWHEAT
Eriogonum fasciculatum

SEASIDE DAISY
Erigeron glaucus

CALIFORNIA FUCHSIA
Epilobium canum

CALIFORNIA COASTAL SUNFLOWER
Encelia californica

PENSTEMON 'MARGARITA BOP'
Penstemon heterophyllus

BLUE-EYED GRASS
Sisyrinchium bellum

SHRUBS REFERENCE IMGAES

LEMONADE BERRY
Rhus integrifolia

MANZANITA
Arctostaphylos auriculata

JAMES ROOF COAST SILKTASSEL
Garrya elliptica 'James Roof'

TOYON
Heteromeles arbutifolia

BLADDERPOD
Peritoma (Isomeris) arborea

ISLAND TREE MALLOW
Malva (Lavatera) assurgentiflora

CATALINA CEANOTHUS
Ceanothus arboreus

TREE REFERENCE IMGAES

KING PALM
Archontophoenix alexandrae

CAMPHOR TREE
Cinnamomum camphora

KEY LIME
Citrus × aurantiifolia

CRAPE MYRTLE
Lagerstroemia indica

NOTE:
THE ABOVE IS REPRESENTATIVE AND WILL BE FINALIZED THROUGH THE ENTITLEMENT AND BUILDING PERMIT PROCESS

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT ISSUE

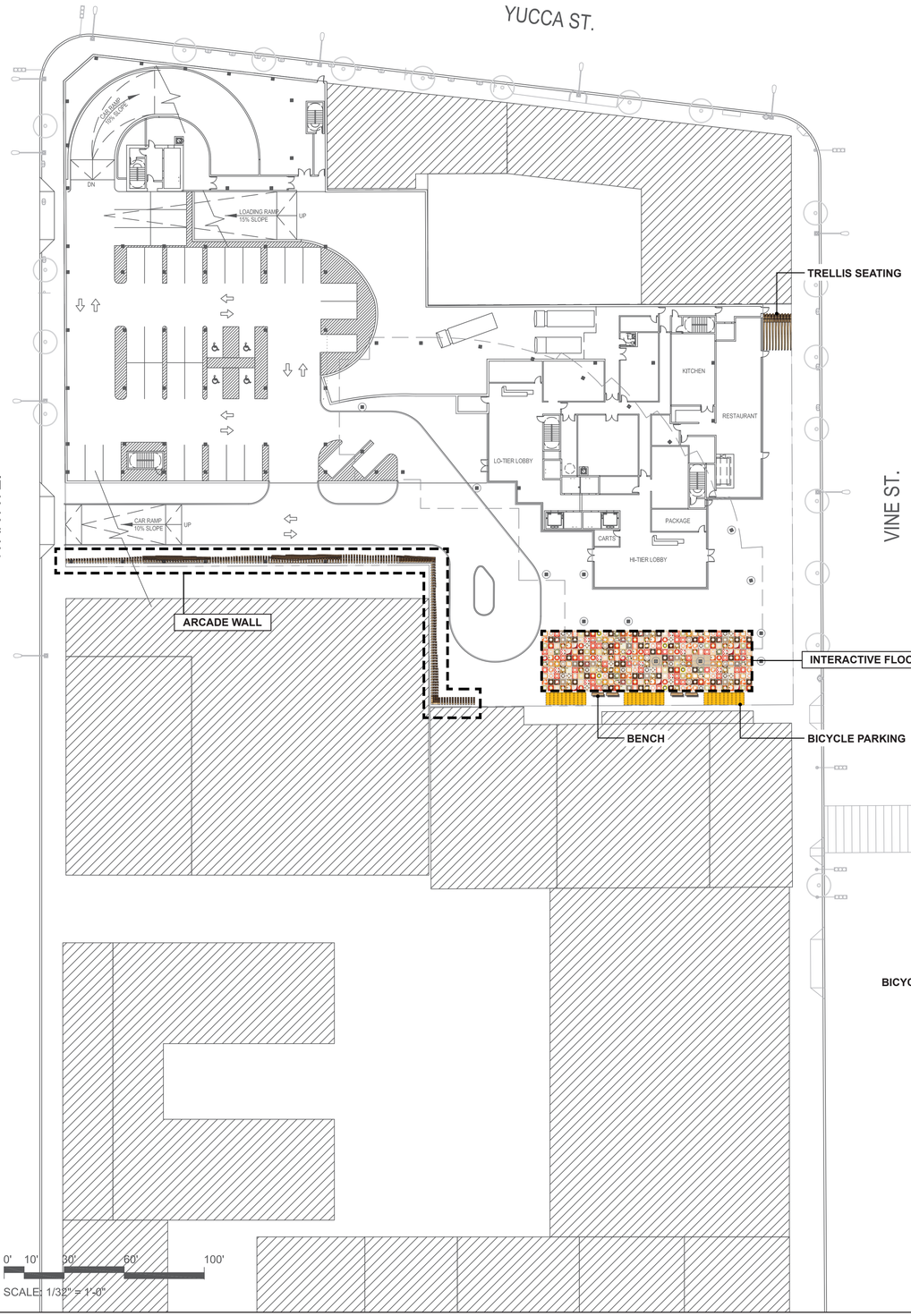
KEY PLAN

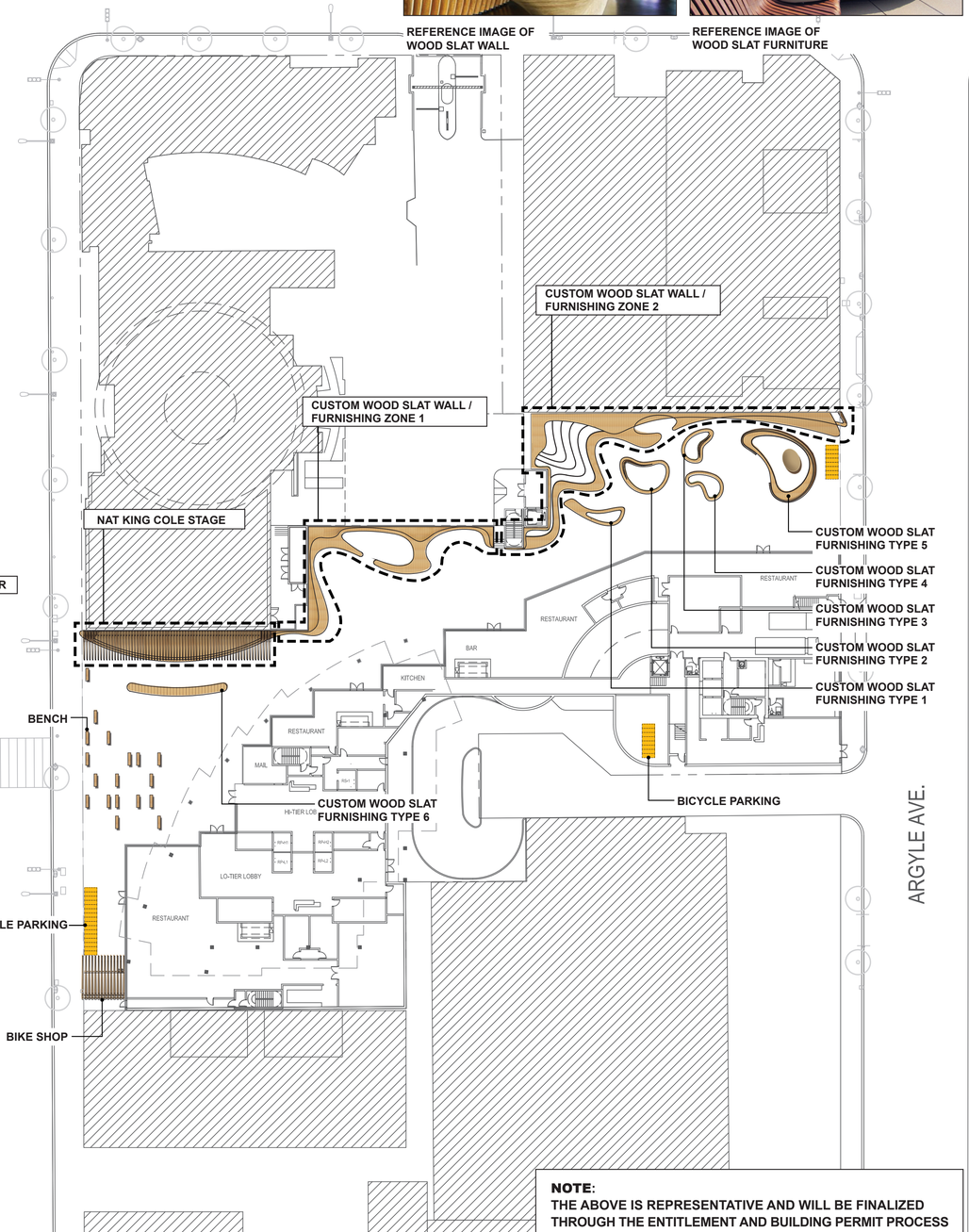
SCALE: -
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
PLANTING REFERENCE IMAGES

DRAWING NO:
L-113-1

© Handel Architects LLP 2018





SYM	ITEM	QTY
	BENCH	22
	BICYCLE PARKING	62

REFERENCE IMAGE OF WOOD SLAT WALL

REFERENCE IMAGE OF WOOD SLAT FURNITURE

NOTE:
THE ABOVE IS REPRESENTATIVE AND WILL BE FINALIZED THROUGH THE ENTITLEMENT AND BUILDING PERMIT PROCESS

N

0' 10' 30' 60' 100'

SCALE: 1/32" = 1'-0"

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT ISSUE

KEY PLAN

SCALE: 1/32" = 1'-0"

PROJECT NO: 1350

SEAL & SIGNATURE

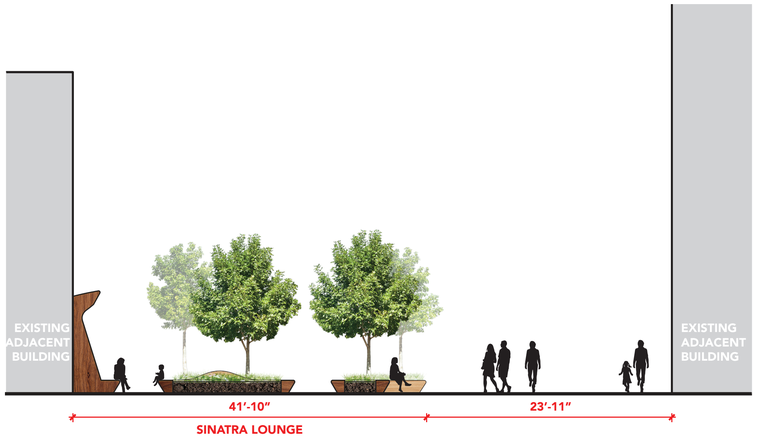
DRAWING TITLE:

OVERALL GROUND FLOOR FURNISHING PLAN

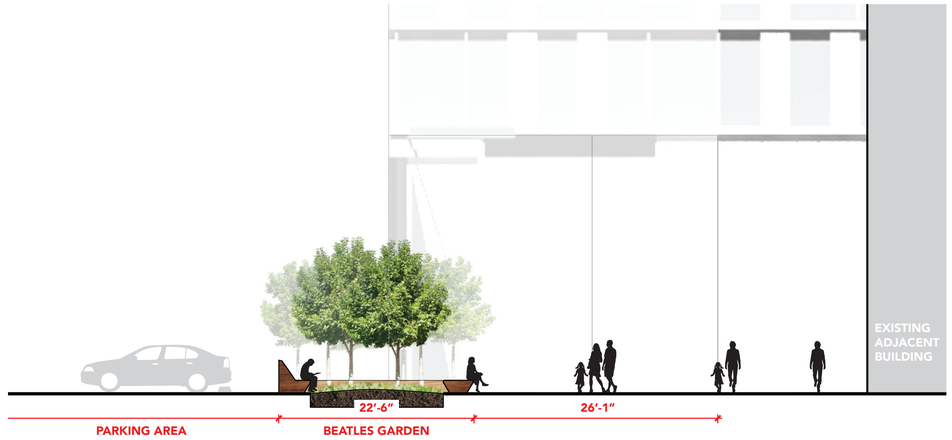
DRAWING NO:

L-114

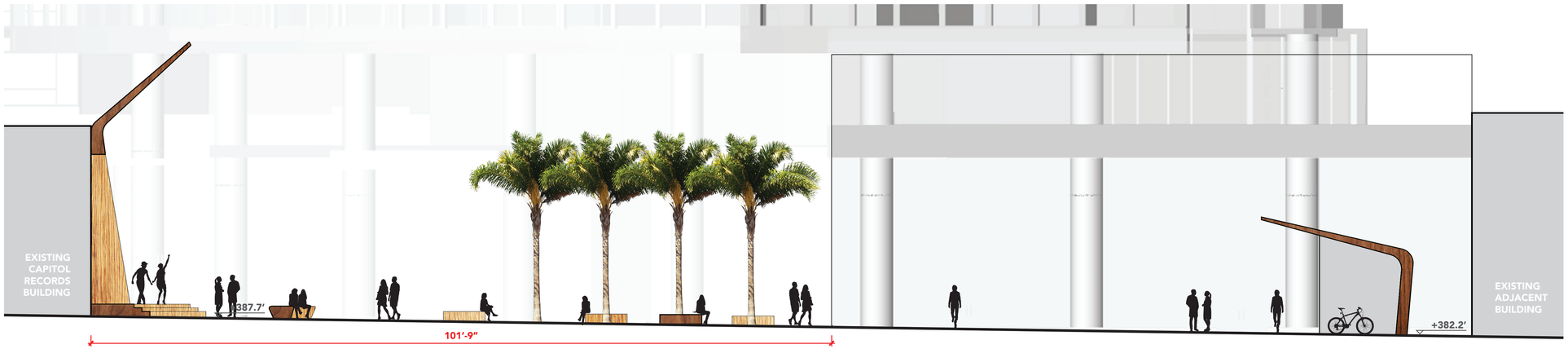
© Handel Architects LLP 2018



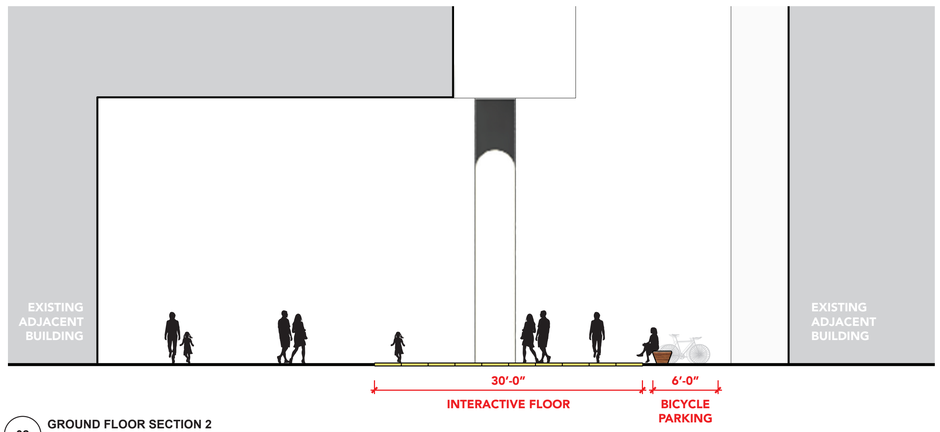
05 **GROUND FLOOR SECTION 5**
SCALE: 1/8" = 1'-0"



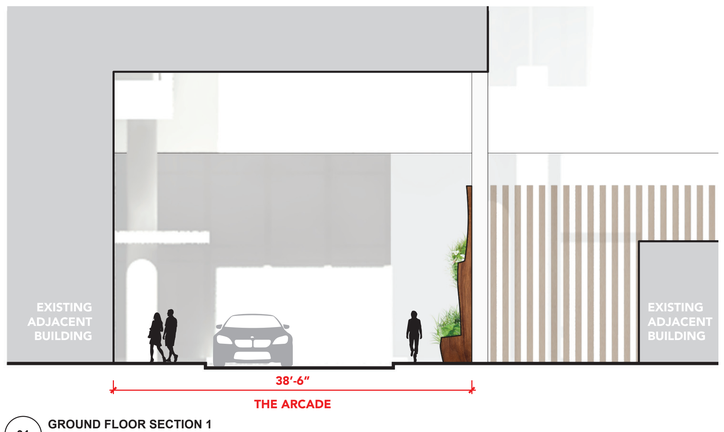
04 **GROUND FLOOR SECTION 4**
SCALE: 1/8" = 1'-0"



03 **GROUND FLOOR SECTION 3**
SCALE: 1/8" = 1'-0"



02 **GROUND FLOOR SECTION 2**
SCALE: 1/8" = 1'-0"



01 **GROUND FLOOR SECTION 1**
SCALE: 1/8" = 1'-0"

NOTE:
THE ABOVE IS REPRESENTATIVE AND WILL BE FINALIZED THROUGH THE ENTITLEMENT AND BUILDING PERMIT PROCESS

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	**ENTITLEMENT ISSUE**

KEY PLAN

SCALE: 1/8" = 1'-0"
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
OVERALL GROUND FLOOR SITE SECTIONS

DRAWING NO:
L-115

© Handel Architects LLP 2018

01 **GROUND FLOOR AXONOMETRIC**
SCALE: N/A

NOTE:
THE ABOVE IS REPRESENTATIVE AND WILL BE FINALIZED THROUGH THE ENTITLEMENT AND BUILDING PERMIT PROCESS

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	**ENTITLEMENT ISSUE**

KEY PLAN

SCALE: N/A
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
GROUND FLOOR RENDERED AXONOMETRICS

DRAWING NO:
L-116

© Handel Architects LLP 2018

AMENITY TERRACES
TOTAL PLANTED AREA: **21,744 SF**
13,394 (WEST) + 8,350 (EAST)

AMENITY TERRACES
TOTAL TREES PROVIDED: **200**

NOTE:
THE ABOVE IS REPRESENTATIVE AND WILL BE FINALIZED THROUGH THE ENTITLEMENT AND BUILDING PERMIT PROCESS

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

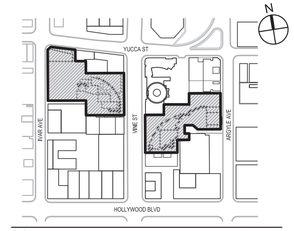
ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	**ENTITLEMENT ISSUE**

KEY PLAN



SCALE: 1/16" = 1'-0"
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
OVERALL
AMENITY TERRACES
SITE PLAN

DRAWING NO:
L-121

© Handel Architects LLP 2018

LEGEND

1. THE POOL
2. KIDS POOL
3. OUTDOOR FIREPLACE
4. AMENITY PAVILION
5. HOT TUB
6. DINING AREA / OUTDOOR KITCHEN
7. SOCIAL GARDEN
8. VIEWING GARDEN
9. MEDITATION POD
10. MOUND GARDEN
11. DOG RUN
12. MULTI-PURPOSE DINING / EVENT AREA
13. EVENT LAWN
14. MULTI-PURPOSE ROOM

WEST SITE AMENITY TERRACES PLANTED AREA:	**13,394 SF**
WEST SITE AMENITY TERRACES TREES PROVIDED:	**119**

NOTE:
THE ABOVE IS REPRESENTATIVE AND WILL BE FINALIZED THROUGH THE ENTITLEMENT AND BUILDING PERMIT PROCESS

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

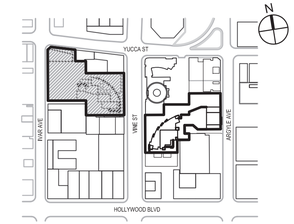
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	**ENTITLEMENT ISSUE**

KEY PLAN



SCALE: 1/16" = 1'-0"
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:

WEST SITE AMENITY TERRACES PLAN

DRAWING NO:

L-122

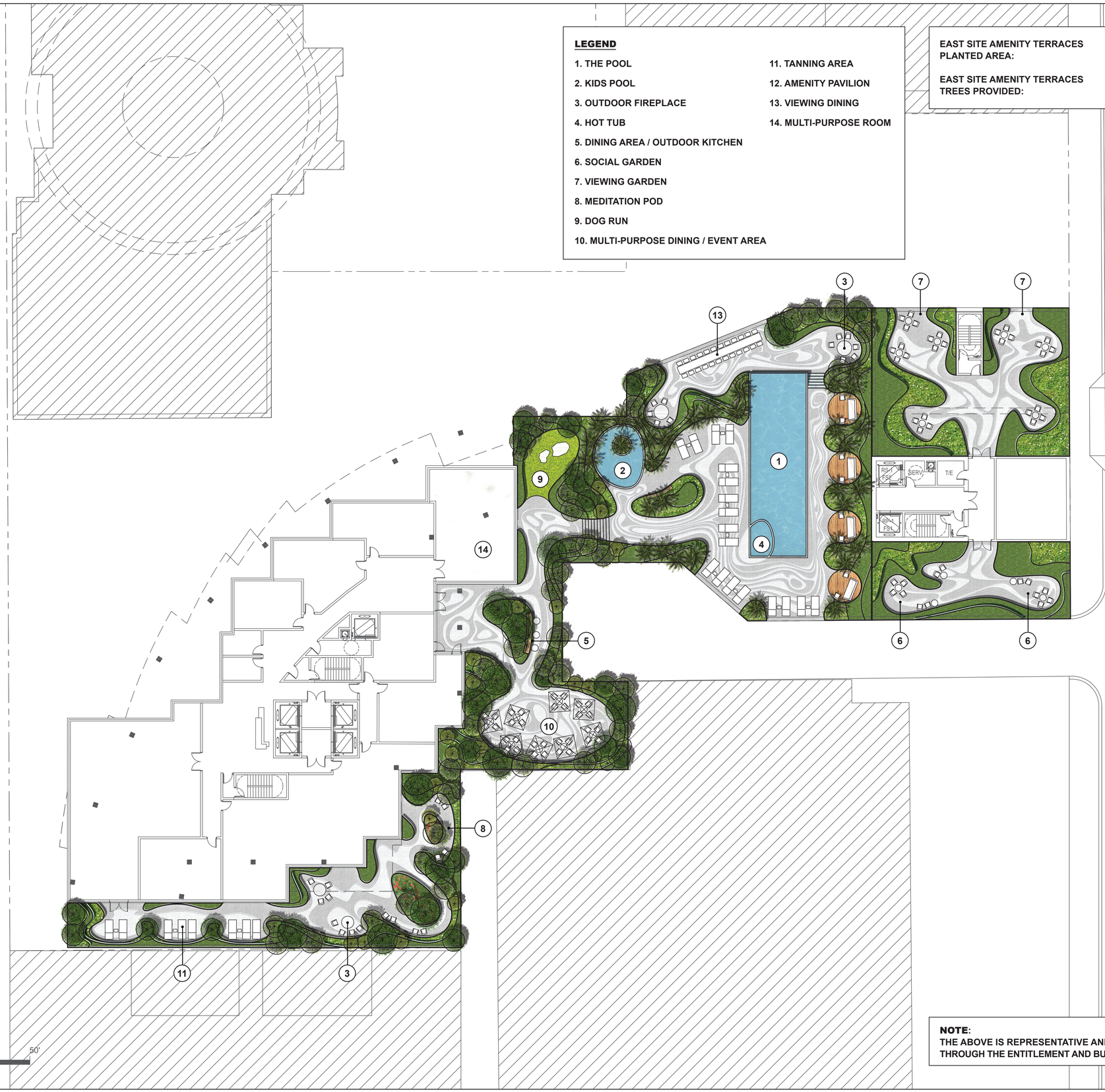
© Handel Architects LLP 2018

VINE ST.

LEGEND

1. THE POOL
2. KIDS POOL
3. OUTDOOR FIREPLACE
4. HOT TUB
5. DINING AREA / OUTDOOR KITCHEN
6. SOCIAL GARDEN
7. VIEWING GARDEN
8. MEDITATION POD
9. DOG RUN
10. MULTI-PURPOSE DINING / EVENT AREA
11. TANNING AREA
12. AMENITY PAVILION
13. VIEWING DINING
14. MULTI-PURPOSE ROOM

EAST SITE AMENITY TERRACES PLANTED AREA:	**8,350 SF**
EAST SITE AMENITY TERRACES TREES PROVIDED:	**81**



ARGYLE AVE.

N

0' 5' 15' 30' 50'

SCALE: 1/16" = 1'-0"

NOTE:
THE ABOVE IS REPRESENTATIVE AND WILL BE FINALIZED THROUGH THE ENTITLEMENT AND BUILDING PERMIT PROCESS

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

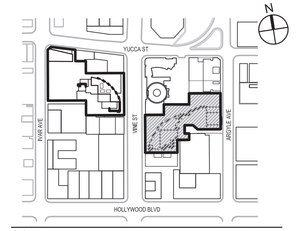
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	**ENTITLEMENT ISSUE**

KEY PLAN



SCALE: 1/16" = 1'-0"

PROJECT NO: 1350

SEAL & SIGNATURE

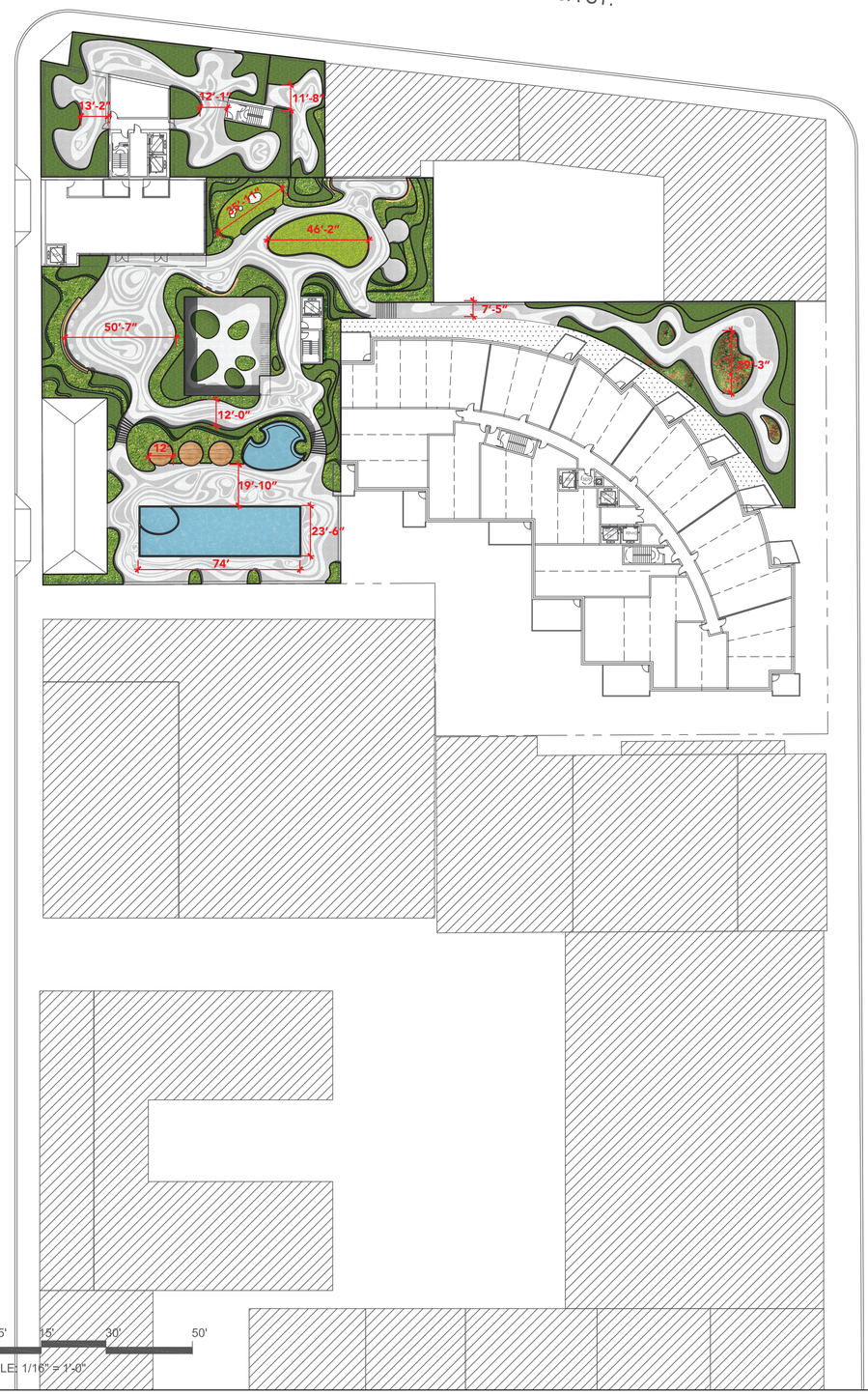
DRAWING TITLE:

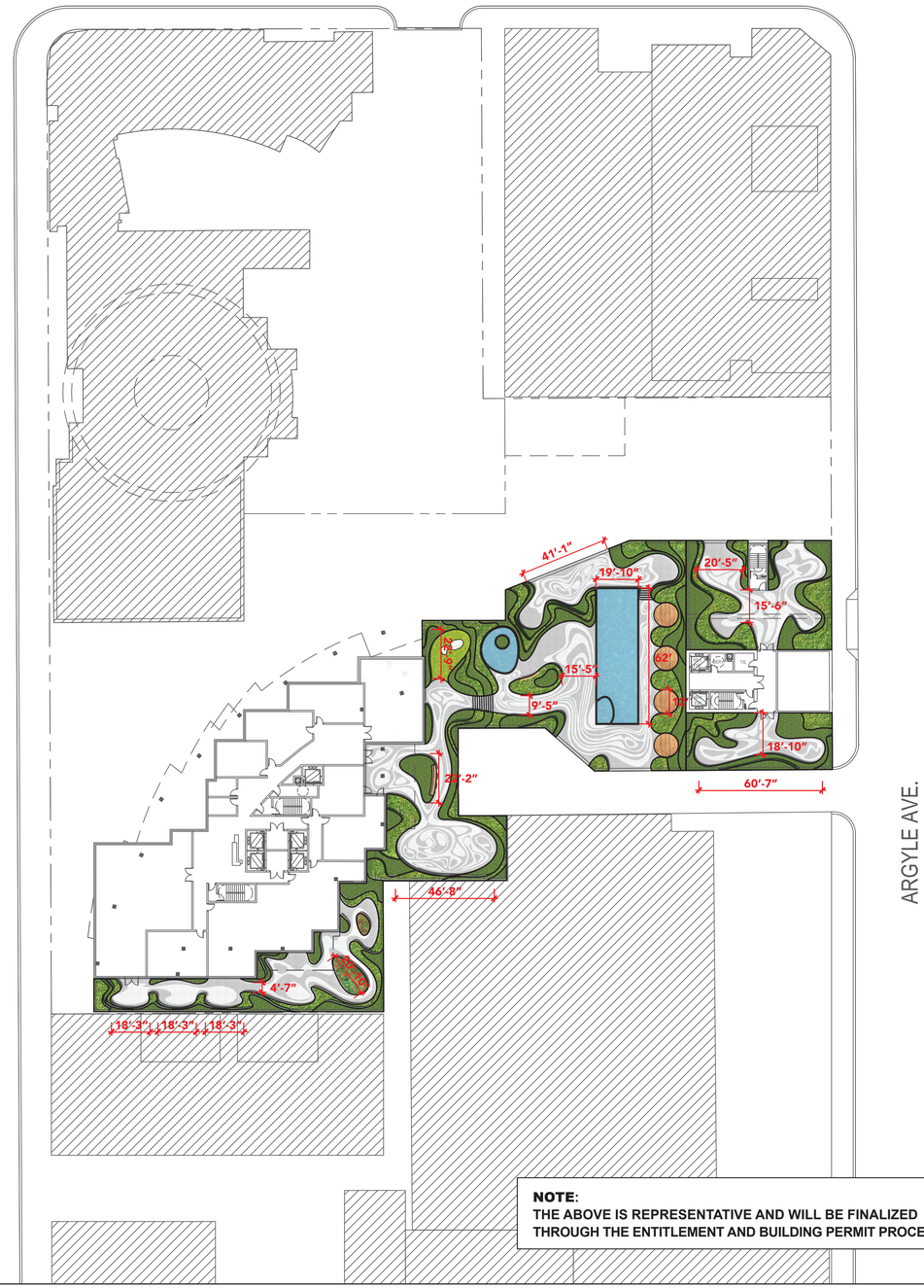
EAST SITE AMENITY TERRACES PLAN

DRAWING NO:

L-123

© Handel Architects LLP 2018





N

0' 5' 15' 30' 50'

SCALE: 1/16" = 1'-0"

NOTE:
THE ABOVE IS REPRESENTATIVE AND WILL BE FINALIZED THROUGH THE ENTITLEMENT AND BUILDING PERMIT PROCESS

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT ISSUE

KEY PLAN

SCALE: 1/16" = 1'-0"

PROJECT NO: 1350

SEAL & SIGNATURE

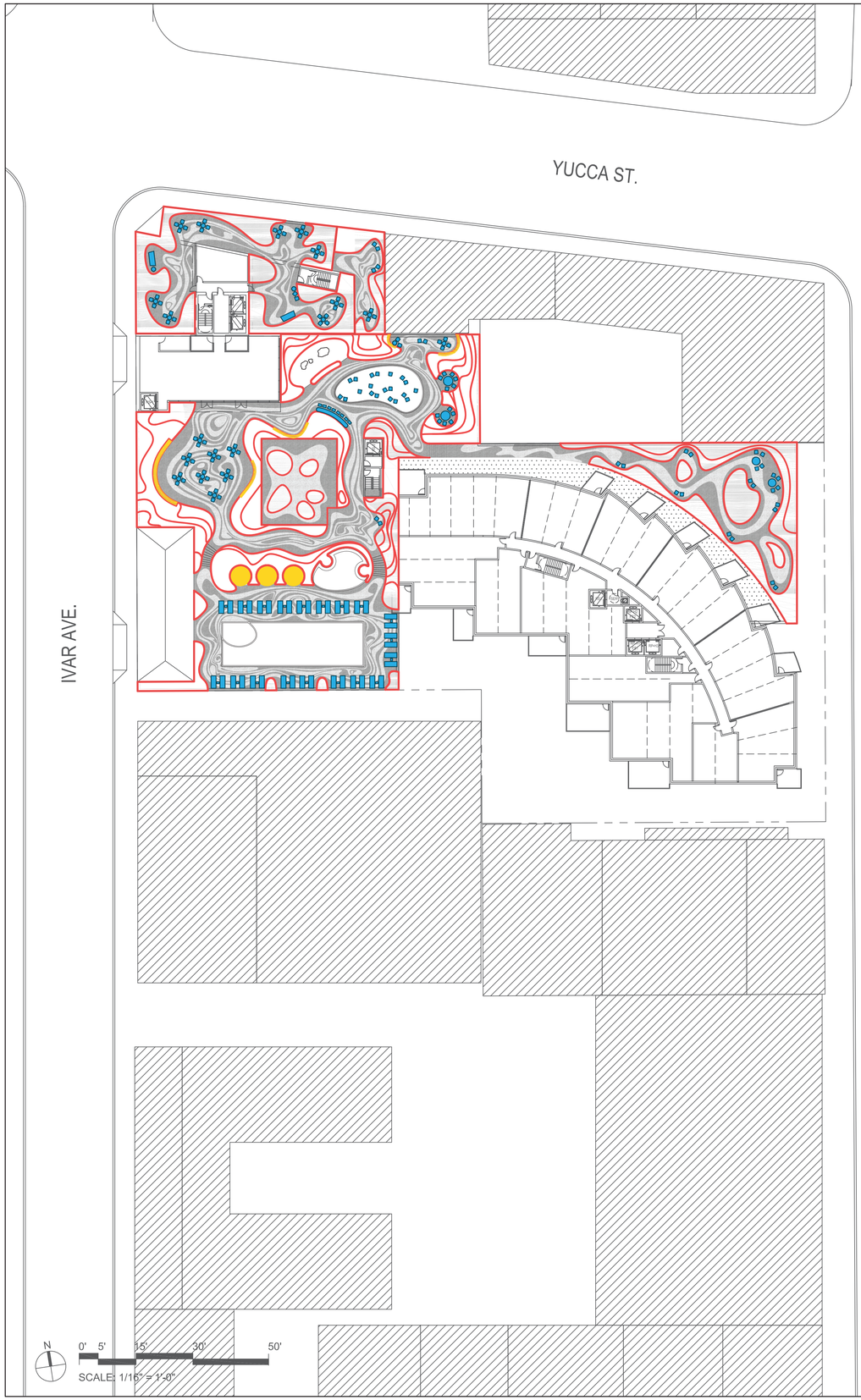
DRAWING TITLE:

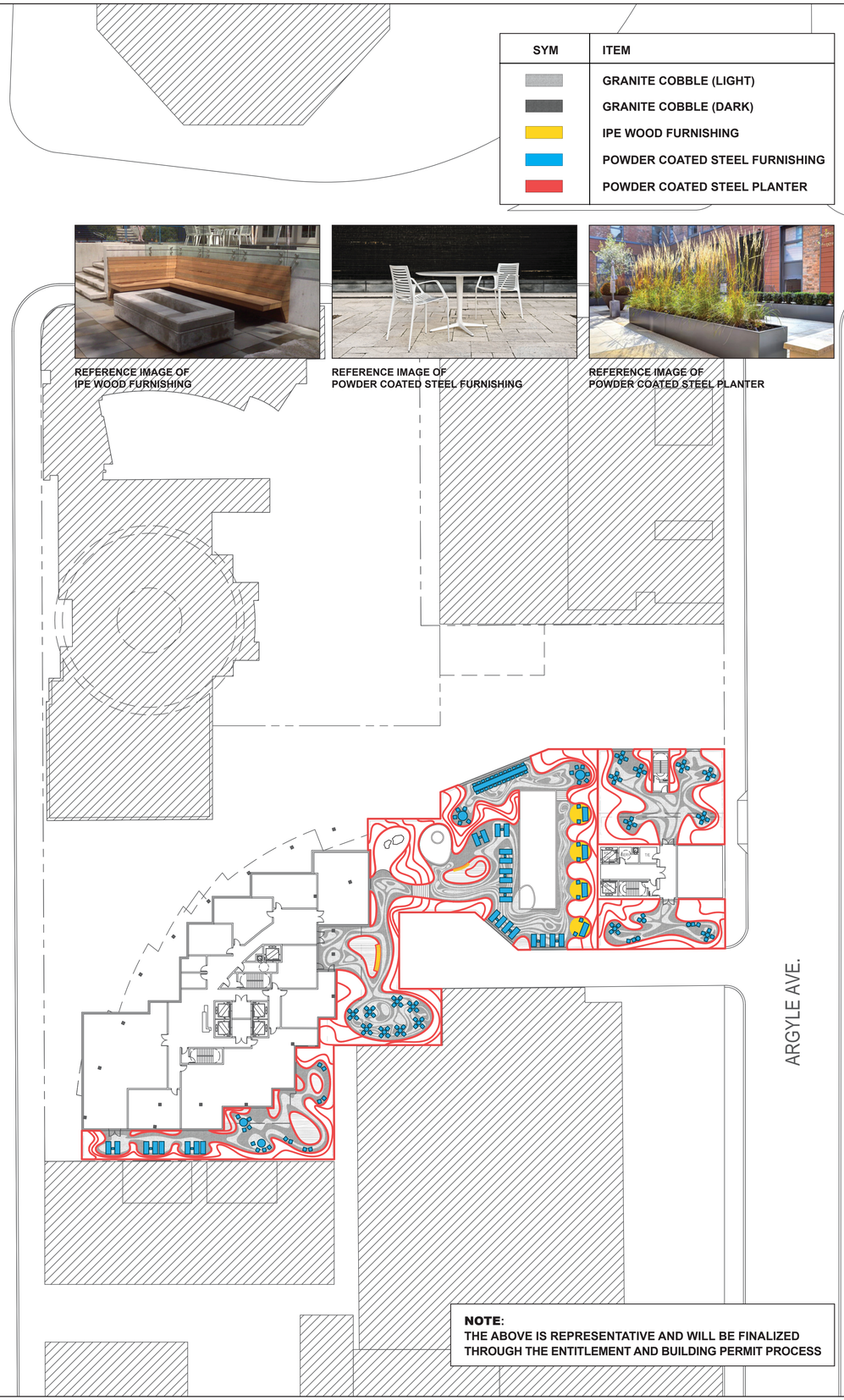
OVERALL
AMENITY TERRACES
LAYOUT PLAN

DRAWING NO:

L-131

© Handel Architects LLP 2018





SYM	ITEM
	GRANITE COBBLE (LIGHT)
	GRANITE COBBLE (DARK)
	IPE WOOD FURNISHING
	POWDER COATED STEEL FURNISHING
	POWDER COATED STEEL PLANTER

REFERENCE IMAGE OF
IPE WOOD FURNISHING

REFERENCE IMAGE OF
POWDER COATED STEEL FURNISHING

REFERENCE IMAGE OF
POWDER COATED STEEL PLANTER

NOTE:
THE ABOVE IS REPRESENTATIVE AND WILL BE FINALIZED THROUGH THE ENTITLEMENT AND BUILDING PERMIT PROCESS

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

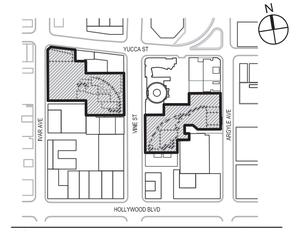
ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT ISSUE

KEY PLAN



SCALE: 1/16" = 1'-0"
PROJECT NO: 1350
SEAL & SIGNATURE

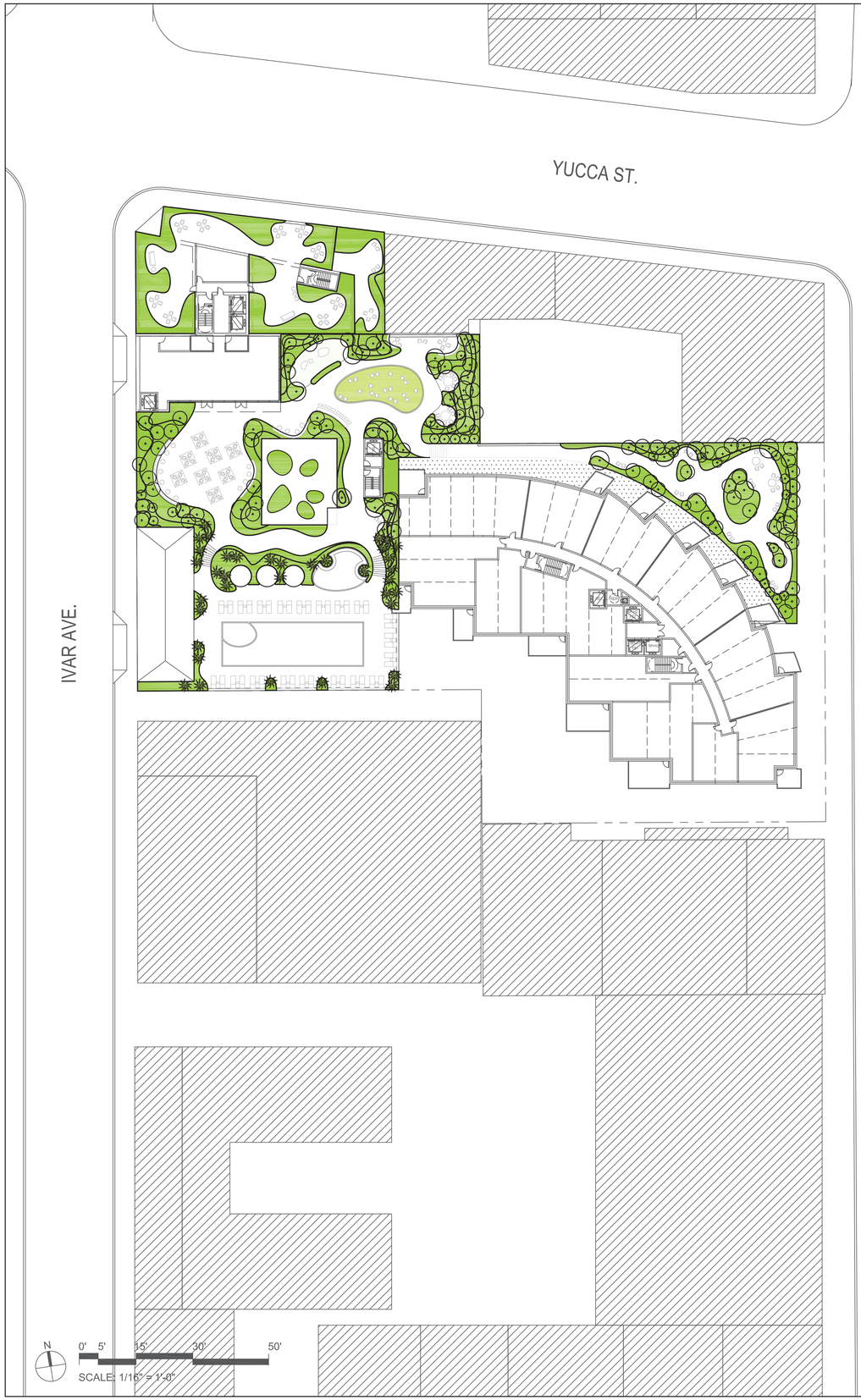
DRAWING TITLE:

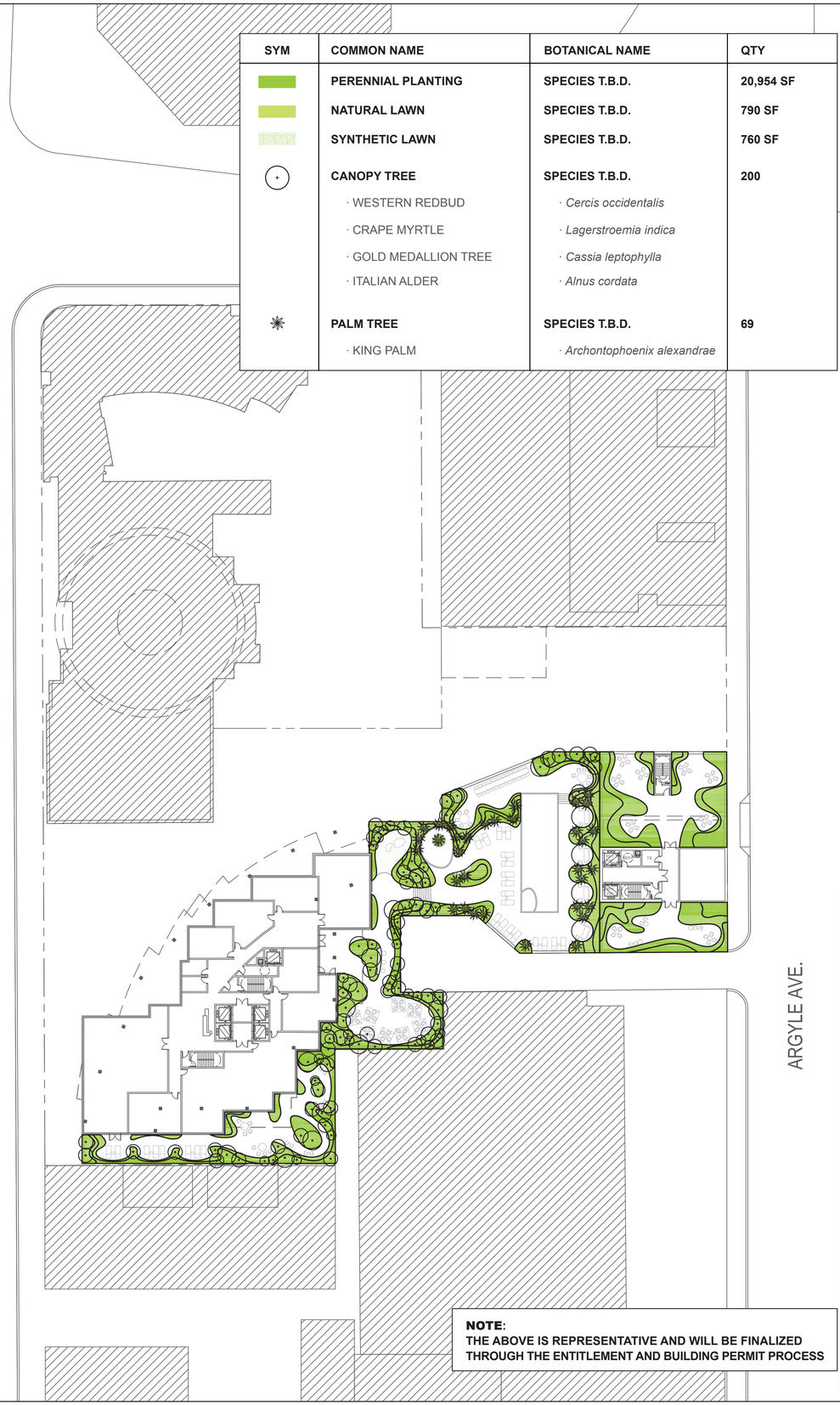
OVERALL
AMENITY TERRACES
MATERIAL PLAN

DRAWING NO:

L-132

© Handel Architects LLP 2018





SYM	COMMON NAME	BOTANICAL NAME	QTY
	PERENNIAL PLANTING	**SPECIES T.B.D.**	**20,954 SF**
	NATURAL LAWN	**SPECIES T.B.D.**	**790 SF**
	SYNTHETIC LAWN	**SPECIES T.B.D.**	**760 SF**
+	**CANOPY TREE**	**SPECIES T.B.D.**	**200**
	· WESTERN REDBUD	· *Cercis occidentalis*	
	· CRAPE MYRTLE	· *Lagerstroemia indica*	
	· GOLD MEDALLION TREE	· *Cassia leptophylla*	
	· ITALIAN ALDER	· *Alnus cordata*	
✱	**PALM TREE**	**SPECIES T.B.D.**	**69**
	· KING PALM	· *Archontophoenix alexandrae*	

NOTE:
THE ABOVE IS REPRESENTATIVE AND WILL BE FINALIZED THROUGH THE ENTITLEMENT AND BUILDING PERMIT PROCESS

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

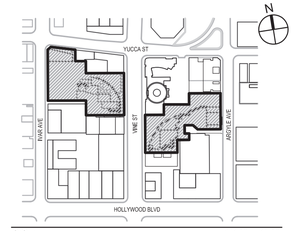
ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	**ENTITLEMENT ISSUE**

KEY PLAN



SCALE: 1/16" = 1'-0"
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:
OVERALL
AMENITY TERRACES
PLANTING PLAN

DRAWING NO:
L-133

© Handel Architects LLP 2018

PERENNIAL REFERENCE IMGAES

SILVER WORMWOOD
Artemisia ludoviciana

COMMON YARROW
Achillea millefolium

REDFLOWER BUCKWHEAT
Eriogonum grande

APRICOT MALLOW
Sphaeralcea ambigua

STICKY MONKEY FLOWER
Mimulus aurantiacus

WOOLLY BLUECURLS
Trichostema lanatum

WINIFRED GILMAN SAGE
Salvia clevelandii 'Winifred Gilman'

DEER GRASS
Muhlenbergia rigens

CALIFORNIA BUCKWHEAT
Eriogonum fasciculatum

SEASIDE DAISY
Erigeron glaucus

CALIFORNIA FUCHSIA
Epilobium canum

CALIFORNIA COASTAL SUNFLOWER
Encelia californica

PENSTEMON 'MARGARITA BOP'
Penstemon heterophyllus

BLUE-EYED GRASS
Sisyrinchium bellum

SHRUBS REFERENCE IMGAES

LEMONADE BERRY
Rhus integrifolia

MANZANITA
Arctostaphylos auriculata

JAMES ROOF COAST SILKTASSEL
Garrya elliptica 'James Roof'

TOYON
Heteromeles arbutifolia

BLADDERPOD
Peritoma (Isomeris) arborea

ISLAND TREE MALLOW
Malva (Lavatera) assurgentiflora

CATALINA CEANOTHUS
Ceanothus arboreus

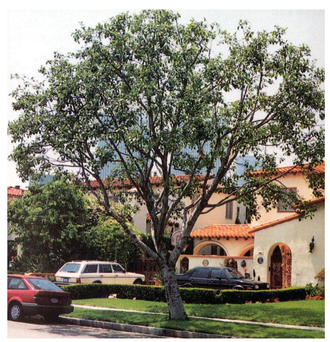
TREE REFERENCE IMGAES

KING PALM
Archontophoenix alexandrae

WESTERN REDBUD
Cercis occidentalis

CRAPE MYRTLE
Lagerstroemia indica

GOLD MEDALLION TREE
Cassia leptophylla



ITALIAN ALDER
Alnus cordata

NOTE:
THE ABOVE IS REPRESENTATIVE AND WILL BE FINALIZED THROUGH THE ENTITLEMENT AND BUILDING PERMIT PROCESS

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

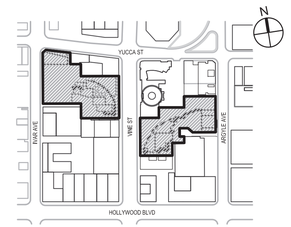
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	ENTITLEMENT ISSUE

KEY PLAN



SCALE:

PROJECT NO: 1350

SEAL & SIGNATURE

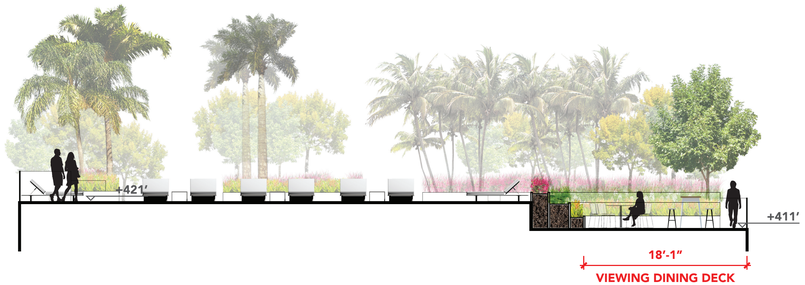
DRAWING TITLE:

AMENITY TERRACES
PLANTING REFERENCE
IMAGE

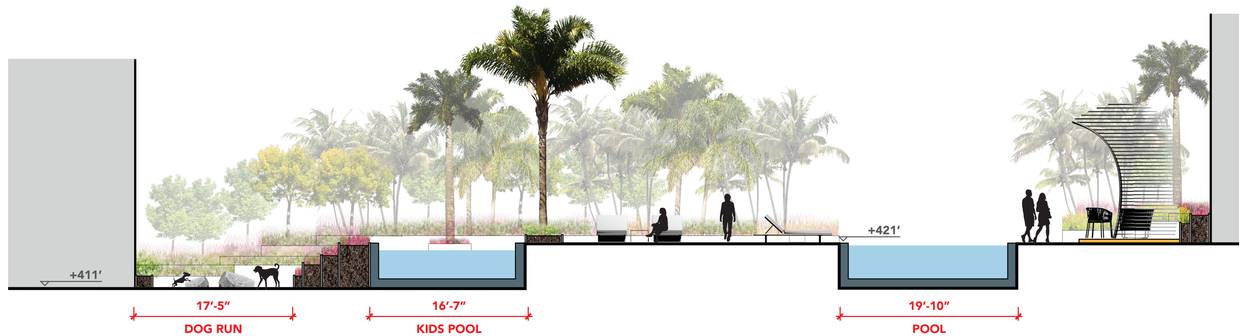
DRAWING NO:

L-133-1

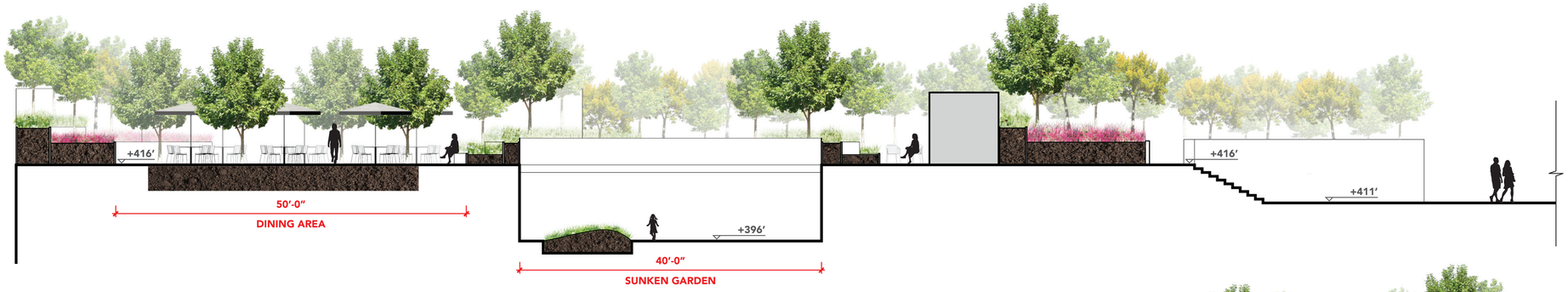
© Handel Architects LLP 2018



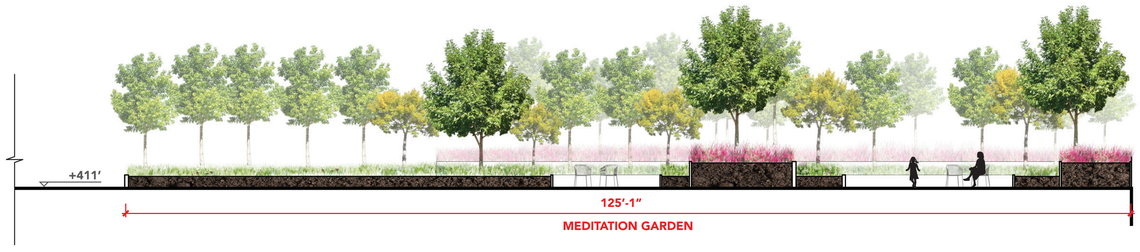
04 **EAST AMENITY SECTION 4**
SCALE: 1/8" = 1'-0"

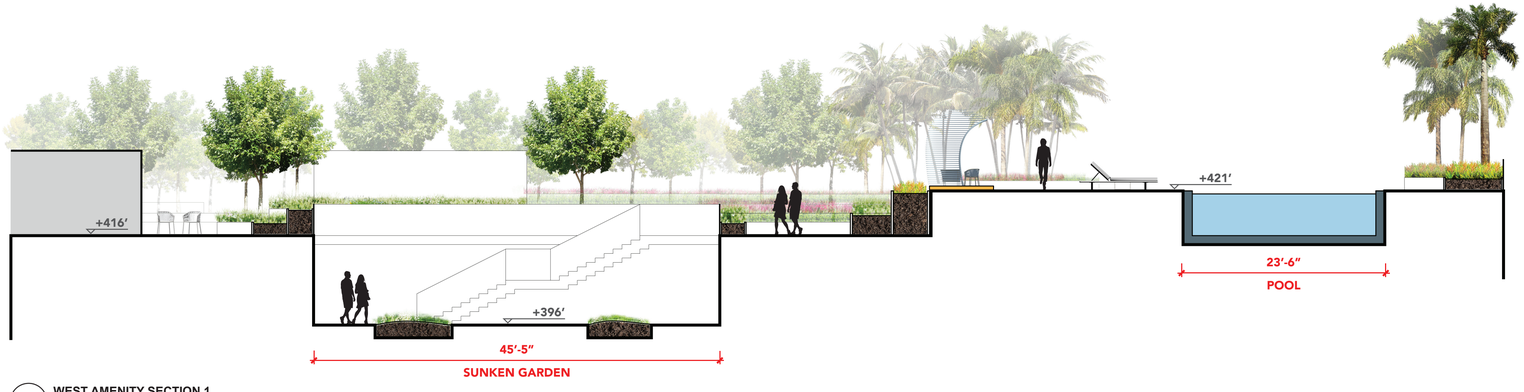


03 **EAST AMENITY SECTION 3**
SCALE: 1/8" = 1'-0"



02 **WEST AMENITY SECTION 2**
SCALE: 1/8" = 1'-0"





01 **WEST AMENITY SECTION 1**
SCALE: 1/8" = 1'-0"

NOTE:
THE ABOVE IS REPRESENTATIVE AND WILL BE FINALIZED THROUGH THE ENTITLEMENT AND BUILDING PERMIT PROCESS

HOLLYWOOD CENTER

APPLICANT
MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

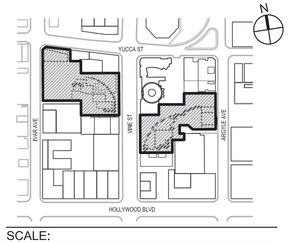
ARCHITECT
HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY
KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	**ENTITLEMENT ISSUE**

KEY PLAN



SCALE:
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:

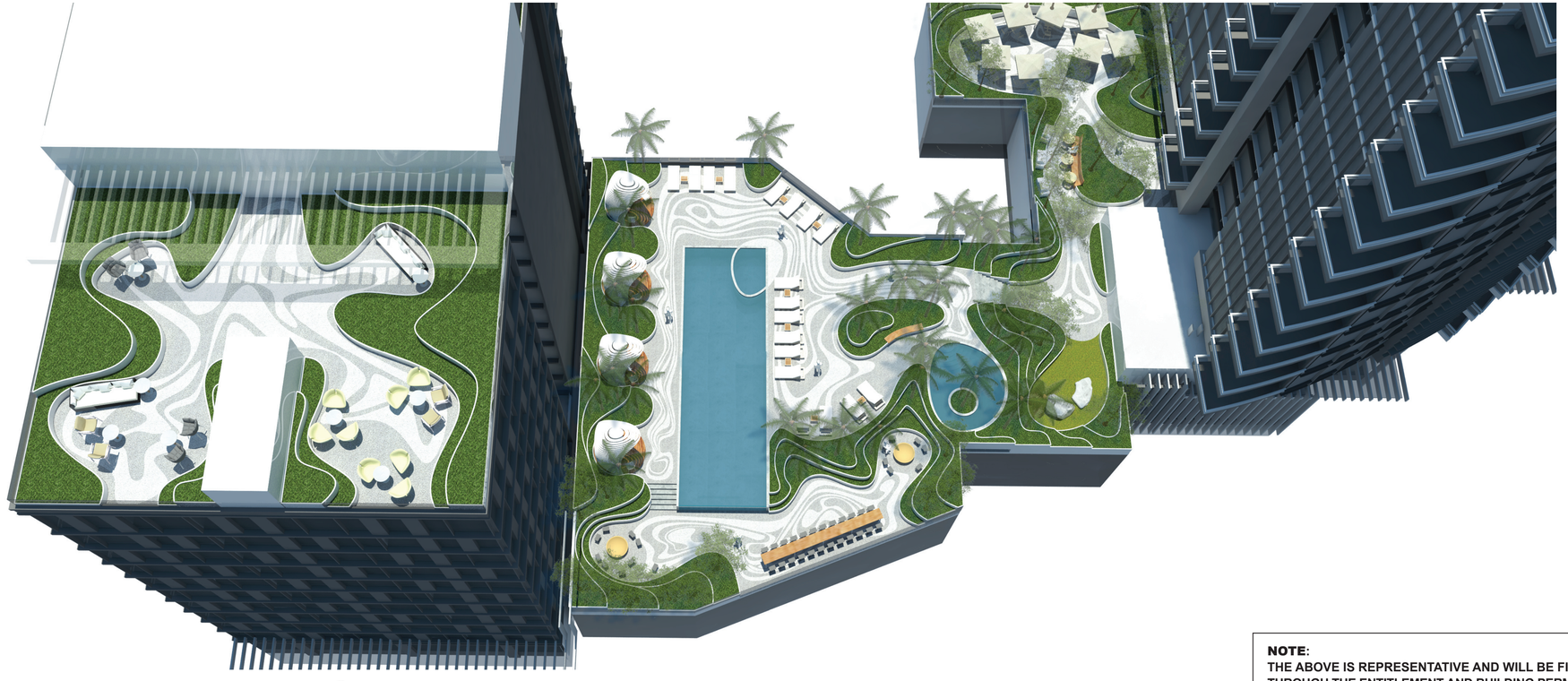
AMENITY TERRACES
SITE SECTIONS

DRAWING NO:

L-135

© Handel Architects LLP 2018

01 **WEST AMENITY TERRACES AXONOMETRIC**
SCALE: N/A



02 **EAST AMENITY TERRACES AXONOMETRIC**
SCALE: N/A

NOTE:
THE ABOVE IS REPRESENTATIVE AND WILL BE FINALIZED THROUGH THE ENTITLEMENT AND BUILDING PERMIT PROCESS

HOLLYWOOD CENTER

APPLICANT

MCAF VINE LLC
1995 Broadway, 3rd Floor
New York, NY 10023
T: 212.875.4900
F: 212.595.1831

ARCHITECT

HANDEL ARCHITECTS, LLP
120 Broadway, 6th Floor
New York, NY 10271
T: 212.595.4112
F: 212.595.9032

LANDSCAPE ARCHITECT

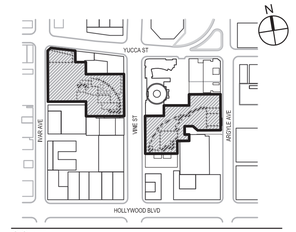
JAMES CORNER FIELD OPERATIONS
475 Tenth Avenue, 9TH FL
New York, NY 10018
T: 212.433.1450
F: 212.433.1451

SURVEY

KPFF
700 S. Flower Street, Suite 2100
Los Angeles, CA 90017
T: 213.418.0201

NO.	DATE	ISSUANCE
	APRIL 2018	**ENTITLEMENT ISSUE**

KEY PLAN



SCALE:
PROJECT NO: 1350
SEAL & SIGNATURE

DRAWING TITLE:

AMENITY TERRACES
RENDERED AXONOMETRICS

DRAWING NO:

L-136

© Handel Architects LLP 2018